

## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
 Applicant: **Walsh Carol Sheila**  
 Site Address: **71 Davis Road CUST**  
 Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
 Location within site:  
 Level Unit Number:  
 Building Category: **R02**

Inspection Type: **Compacted Hardfill Pre-DPM**  
 Inspection Outcome: **Pass Non Compliance**  
 Inspected By: **John Durand**  
 Inspection Date: **20 November 2023 9:56 AM**  
 Duration: **45 minutes**

Inspection Element	Status
General Items	Pass
Building, Multi-unit, Lot or Tenancy	Pass
Health and Safety requirements <b>Standard WDC uniform. Hi-Vis shirt/jacket worn over where required. Standard safety footwear required and worn on site.</b>	N/A
Approved Building Consent on site	Pass
Previous site instructions	N/A
Inspection Items	Pass Non Compliance
Boundary peg locations and address/lot number <b>Lot identified</b>	Pass
Confirm siting <b>To check when boxing in place</b>	Pass Non Compliance
Building Location Certificate Provided	N/A
Confirm any engineer's special requirements <b>Engineer to inspect excavation.</b>	Pass Non Compliance
Engineer's inspection/s <b>Engineer to inspect excavation.</b>	Pass Non Compliance
Building platform excavations	Pass
Hardfill - type & compaction <b>Hardfill well compacted, heel tested.</b>	Pass
Under-slab insulation provision	N/A
DPM protection <b>Crusher dust blinding approx 25mm thick.</b>	Pass
Slab base level and height <b>Ensure 400mm above ground is achieved for finished floor level.</b>	Pass Non Compliance
Slab thickenings	N/A
Pipework	N/A
Prompt builder re: HWC safe-trays	N/A
BA2004 s.28 : Warnings and Bans - Methods and Products	N/A
Amendment Required	N/A
ADDITIONAL ITEMS (as applicable)	N/A

### Documentation

(Struct.) Engineer's ground bearing notes/report Required



Taken at 9:49 AM on Monday 20/11/2023



Taken at 9:49 AM on Monday 20/11/2023





Taken at 9:50 AM on Monday 20/11/2023



Taken at 9:51 AM on Monday 20/11/2023





Taken at 9:51 AM on Monday 20/11/2023



---

**SITE INSPECTION NOTICE**

---

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**  
Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**  
Email To: **barry@dimensionshopfitters.co.nz**

---

Enquiries about this inspection may be directed to the inspector listed on this notice, or via the contact details listed in the header.

**Please email any requested documentation and records of work to buildinginfo@wmk.govt.nz using BC230501 in the subject line.**

---

Inspection Type: **Compacted Hardfill Pre-DPM**  
Inspection Outcome: **Pass Non Compliance**  
Inspected By: **John Durand - 021 614 528**  
Inspection Date: **20 November 2023**

**Passed Items**

## General Items

- Building, Multi-unit, Lot or Tenancy
- Approved Building Consent on site

## Inspection Items

- |   |   |
|---|---|
| Boundary peg locations and address/lot number | <b>Lot identified</b>                           |
| Building platform excavations                 |   |
| Hardfill - type & compaction                  | <b>Hardfill well compacted, heel tested.</b>    |
| DPM protection                                | <b>Crusher dust blinding approx 25mm thick.</b> |

**Passed - With Conditions**

## Inspection Items

- |   |  |
|---|--|
| Confirm siting                              | <b>To check when boxing in place</b>                                   |
| Confirm any engineer's special requirements | <b>Engineer to inspect excavation.</b>                                 |
| Engineer's inspection/s                     | <b>Engineer to inspect excavation.</b>                                 |
| Slab base level and height                  | <b>Ensure 400mm above ground is achieved for finished floor level.</b> |

---

**Documentation**

(Struct.) Engineer's ground bearing notes/report

**Status**

Required

## SITE INSPECTION AUDIT REPORT

---

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM**  
**71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:

Location within site:

Level Unit Number:

Building Category: **R02**

---

Inspection Type: **Compacted Hardfill Pre-DPM**

Inspection Outcome: **Pass Non Compliance**

Inspected By: **Jake Burns**

Inspection Date: **27 November 2023 12:59 PM**

Duration: **0 minutes**

### Inspection Element

### Status

Inspection Items

Pass Non Compliance

Confirm siting

Pass

**To check when boxing in place**

Slab base level and height

Pass

**Ensure 400mm above ground is achieved for finished floor level.**

---

### Documentation

As-Built Truss Design

Required



## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
 Applicant: **Walsh Carol Sheila**  
 Site Address: **71 Davis Road CUST**  
 Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

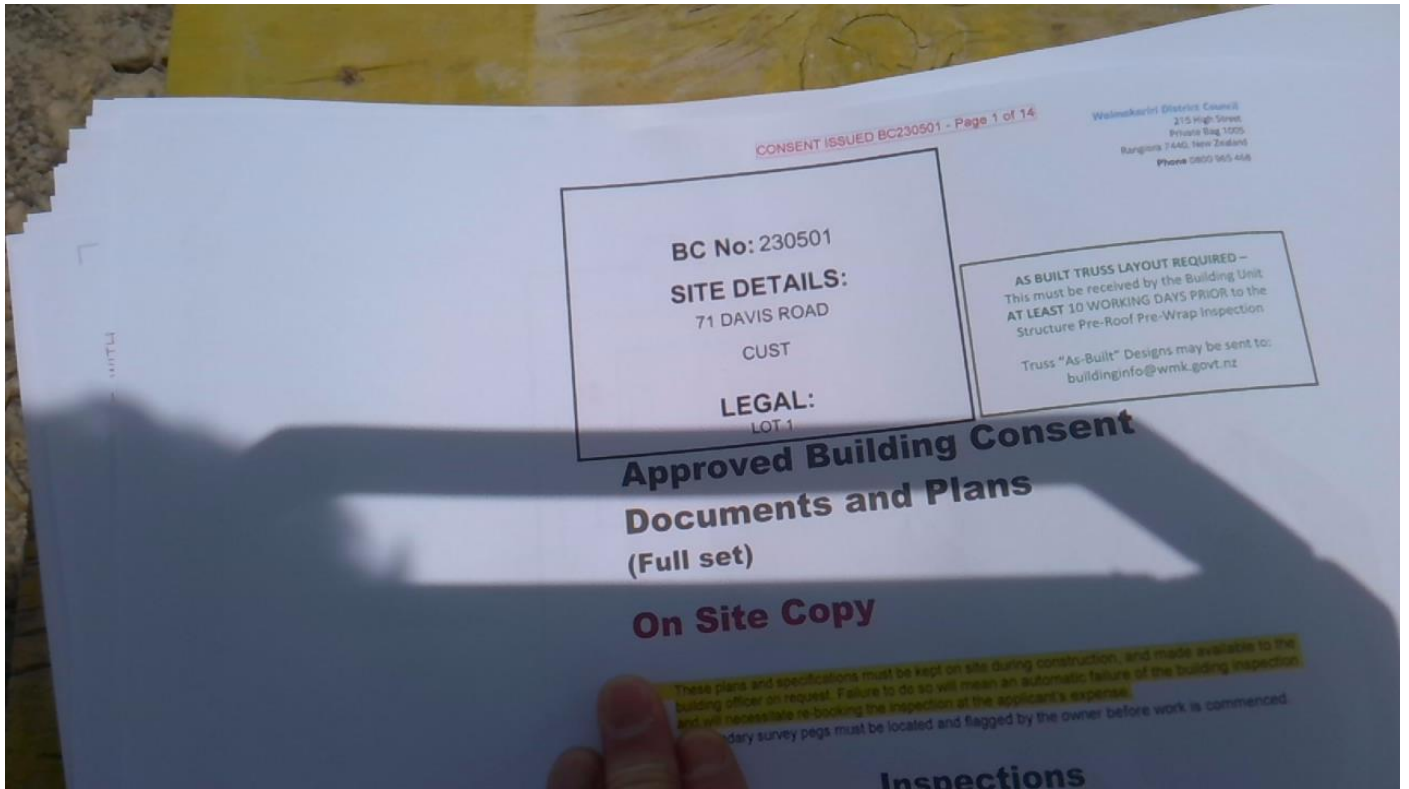
Building Name:  
 Location within site:  
 Level Unit Number:  
 Building Category: **R02**

Inspection Type: **Foundation & Floor Slab (Pre-Pour Single Pour)**  
 Inspection Outcome: **Pass**  
 Inspected By: **Jake Burns**  
 Inspection Date: **27 November 2023 1:43 PM**  
 Duration: **45 minutes**

Inspection Element	Status
General Items	Pass
Building, Multi-unit, Lot or Tenancy	Pass
<b>Lot 1</b>	
Health and Safety requirements	N/A
<b>Standard WDC uniform. Hi-Vis shirt/jacket worn where required. Standard safety footwear worn on site.</b>	
Approved Building Consent on site	Pass
<b>Approved building consent documentation including plans and specification have been reviewed onsite.</b>	
Previous site instructions	N/A
Inspection Items	Pass
Boundary peg locations and address/lot number	Pass
<b>Lot 1 identified</b>	
Confirm siting	Pass
<b>Appears the dwelling has been setout in accordance with consented site plans with measurements taken off critical boundaries and FFL matching that of consented plans.</b>	
<b>Owner to confirm</b>	
Building Location Certificate Provided	N/A
Finished floor level	Pass
<b>400mm above ground achieved</b>	
DPM	Pass
<b>Appears to be installed in accordance with spec's giving pods have been installed on top.</b>	
Polystyrene pods set-out	Pass
<b>As per allied layout</b>	
Foundation width and depth	Pass
<b>300mm raft</b>	
Reinforcing type, size, laps and spacing	Pass
<b>HD 12 and double HD12's as per engineers design with SE62 500 E mesh. Laps have been constructed in accordance with engineers requirements.</b>	
<b>Clearance off boxing has been achieved.</b>	
Reinforcing cover	Pass
<b>Minimum cover achieved</b>	
Wastes and foundation penetrations	Pass
<b>Wastes have been laid in accordance with the drainage plan meeting the performance requirements of G12/13.</b>	
<b>Lagging with good fall has been achieved.</b>	

Mesh reinforcing	Pass
Slab thickenings and recesses	Pass
<b>Thickening as per consent</b>	
Free-joints	N/A
Supplementary reinforcing	Pass
<b>Being installed at time of inspection</b>	
Check slab thickness	Pass
<b>Minimum thickness achieved</b>	
Slab rebates	Pass
<b>To be installed as discussed</b>	
Under slab insulation	N/A
HWC relief drain	Pass
<b>HWC copper relief drain in place with 40mm waste</b>	
Hot Water Cylinder Safe-tray Drain	Pass
Advise actual truss as-built's approval required	Pass
Electrical earth bar to mesh installed	Pass
<b>To be installed as discussed, complete as directive</b>	
Engineers inspection completed	N/A
BA2004 s.28 : Warnings and Bans - Methods and Products	N/A
Amendment Required	N/A
OK to Pour	Pass
<b>Subject to directives being completed</b>	
ADDITIONAL ITEMS (as applicable)	N/A
<hr/>	
<b>Documentation</b>	
As-Built Truss Design	Required





Taken at 1:32 PM on Monday 27/11/2023



400mm from ground level achieved  
Taken at 1:32 PM on Monday 27/11/2023



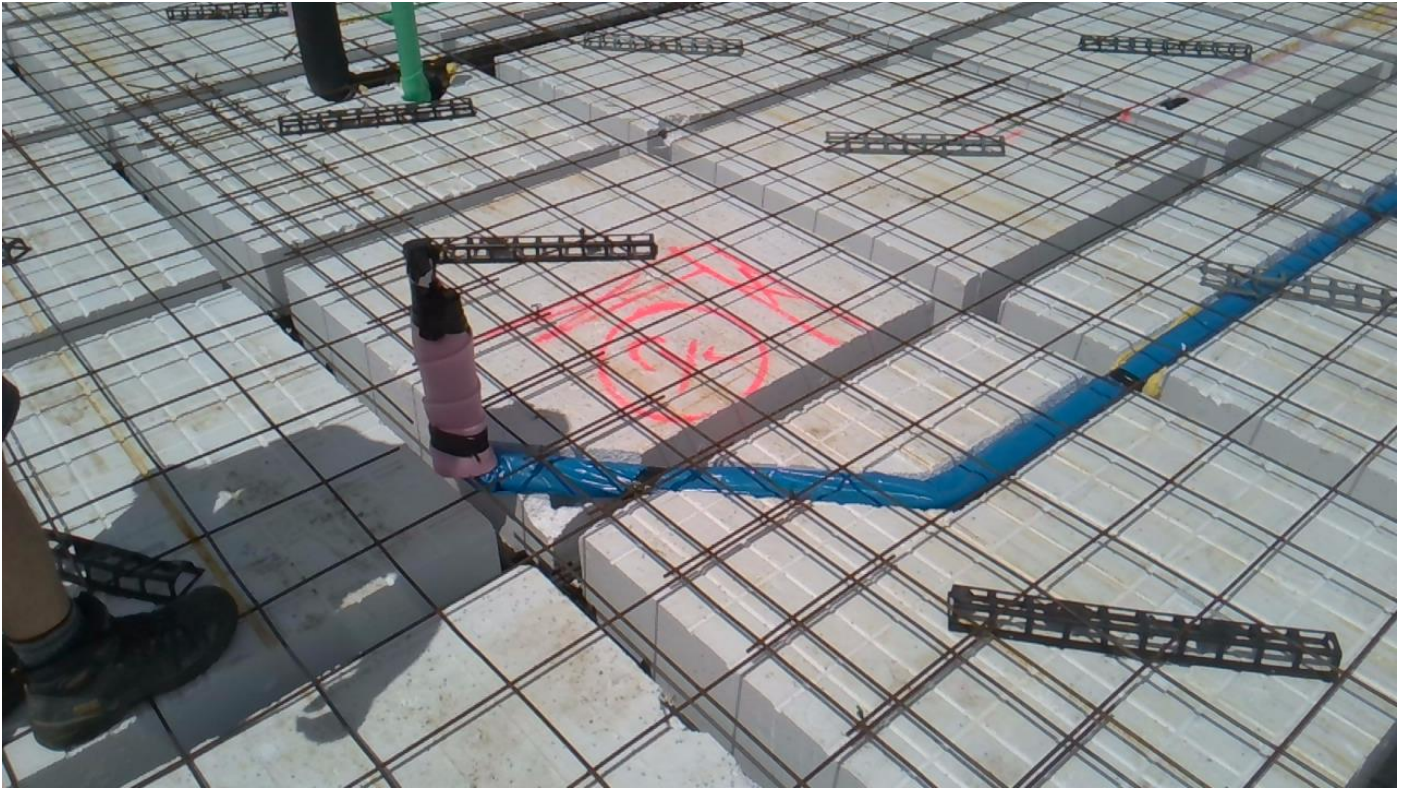


**Corner bars being completed at time of inspection**  
Taken at 1:33 PM on Monday 27/11/2023



Taken at 1:33 PM on Monday 27/11/2023





Taken at 1:34 PM on Monday 27/11/2023



Taken at 1:34 PM on Monday 27/11/2023





Taken at 1:34 PM on Monday 27/11/2023



Taken at 1:34 PM on Monday 27/11/2023





Taken at 1:35 PM on Monday 27/11/2023



**Total span shed, exempt**  
Taken at 1:36 PM on Monday 27/11/2023

## SITE INSPECTION NOTICE

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**  
Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**  
Email To: **barry@dimensionshopfitters.co.nz,mark@masterfoundations.co.nz**

Enquiries about this inspection may be directed to the inspector listed on this notice, or via the contact details listed in the header.

**Please email any requested documentation and records of work to buildinginfo@wmk.govt.nz using BC230501 in the subject line.**

Inspection Type: **Compacted Hardfill Pre-DPM**  
Inspection Outcome: **Pass Non Compliance**  
Inspected By: **Jake Burns - 027 223 5428**  
Inspection Date: **27 November 2023**

### Passed Items

#### Inspection Items

Confirm siting

Slab base level and height

**To check when boxing in place**

**Ensure 400mm above ground is achieved for finished floor level.**

### Passed - With Conditions

#### Inspection Items

Inspection Type: **Foundation & Floor Slab (Pre-Pour Single Pour)**  
Inspection Outcome: **Pass**  
Inspected By: **Jake Burns - 027 223 5428**  
Inspection Date: **27 November 2023**

### Passed Items

#### General Items

Building, Multi-unit, Lot or Tenancy

Approved Building Consent on site

**Lot 1**

**Approved building consent documentation including plans and specification have been reviewed onsite.**

#### Inspection Items

Boundary peg locations and address/lot number

Confirm siting

**Lot 1 identified**

**Appears the dwelling has been setout in accordance with consented site plans with measurements taken off critical boundaries and FFL matching that of consented plans.**

**Owner to confirm**

Finished floor level

**400mm above ground achieved**

DPM	Appears to be installed in accordance with spec's giving pods have been installed on top.
Polystyrene pods set-out	As per allied layout
Foundation width and depth	300mm raft
Reinforcing type, size, laps and spacing	HD 12 and double HD12's as per engineers design with SE62 500 E mesh. Laps have been constructed in accordance with engineers requirements. Clearance off boxing has been achieved.
Reinforcing cover	Minimum cover achieved
Wastes and foundation penetrations	Wastes have been laid in accordance with the drainage plan meeting the performance requirements of G12/13. Lagging with good fall has been achieved.
Mesh reinforcing	Thickening as per consent
Slab thickenings and recesses	Being installed at time of inspection
Supplementary reinforcing	Minimum thickness achieved
Check slab thickness	To be installed as discussed
Slab rebates	HWC copper relief drain in place with 40mm waste
HWC relief drain	
Hot Water Cylinder Safe-tray Drain	
Advise actual truss as-built's approval required	
Electrical earth bar to mesh installed	To be installed as discussed, complete as directive
OK to Pour	Subject to directives being completed

---

## Documentation

As-Built Truss Design  
(Struct.) Engineer's ground bearing notes/report

## Status

Required  
Required

## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM**  
**71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

Inspection Type: **Drains**  
Inspection Outcome: **Pass Non Compliance**  
Inspected By: **Mike Rowe**  
Inspection Date: **7 December 2023 9:12 AM**  
Duration: **45 minutes**

Inspection Element	Status
General Items	Pass
Building, Multi-unit, Lot or Tenancy	Pass
Health and Safety requirements	N/A
Approved Building Consent on site	Pass
Previous site instructions	N/A
Inspection Items	Pass Non Compliance
Drain-layers details and registration number <b>Rene rego#26217</b>	Pass
Storm-water, &/or sewer pipework in position and exposed <b>Sewer laid in 100mm UPVC to Oasis septic tank</b> <b>Stormwater laid in 90mm PVC and 100mm UPVC</b>	Pass Non Compliance
<b>*Detention tank yet to be completed and garage stormwater drains</b>	
Gradient <b>1:90</b>	Pass
Pipework support & bedding <b>All drains bedded in 12mm chip</b>	Pass
Sumps and soak holes	N/A
Water test <b>Being completed</b>	Pass
Primer used	Pass
Septic tank system and location <b>Septic tank system and location as per consent</b>	Pass
As-laid plan <b>To be provided</b>	Pass Non Compliance
BA2004 s.28 : Warnings and Bans - Methods and Products	N/A
Amendment Required	N/A
ADDITIONAL ITEMS (as applicable)	N/A





Taken at 9:09 AM on Thursday 7/12/2023



Taken at 9:09 AM on Thursday 7/12/2023





Taken at 9:10 AM on Thursday 7/12/2023



Taken at 9:10 AM on Thursday 7/12/2023





Taken at 9:10 AM on Thursday 7/12/2023



Taken at 9:11 AM on Thursday 7/12/2023





Taken at 9:11 AM on Thursday 7/12/2023



Taken at 9:11 AM on Thursday 7/12/2023





Taken at 9:11 AM on Thursday 7/12/2023

## SITE INSPECTION NOTICE

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**  
Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**  
Email To: **barry@dimensionshopfitters.co.nz,admin@phdrainage.co.nz**

Enquiries about this inspection may be directed to the inspector listed on this notice, or via the contact details listed in the header.

**Please email any requested documentation and records of work to buildinginfo@wmk.govt.nz using BC230501 in the subject line.**

Inspection Type: **Drains**  
Inspection Outcome: **Pass Non Compliance**  
Inspected By: **Mike Rowe - 021 310 389**  
Inspection Date: **7 December 2023**

### Passed Items

#### General Items

Building, Multi-unit, Lot or Tenancy  
Approved Building Consent on site

#### Inspection Items

Drain-layers details and registration number	<b>Rene rego#26217</b>
Gradient	<b>1:90</b>
Pipework support & bedding	<b>All drains bedded in 12mm chip</b>
Water test	<b>Being completed</b>
Primer used	
Septic tank system and location	<b>Septic tank system and location as per consent</b>

### Passed - With Conditions

#### Inspection Items

Storm-water, &/or sewer pipework in position and exposed	<b>Sewer laid in 100mm UPVC to Oasis septic tank Stormwater laid in 90mm PVC and 100mm UPVC</b>
	<b>*Detention tank yet to be completed and garage stormwater drains</b>
As-laid plan	<b>To be provided</b>

### Documentation

	<b>Status</b>
As-Built Truss Design	Required
(Struct.) Engineer's ground bearing notes/report	Required



## SITE INSPECTION AUDIT REPORT

---

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM**  
**71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:

Location within site:

Level Unit Number:

Building Category: **R02**

---

Inspection Type: **Compacted Hardfill Pre-DPM**

Inspection Outcome: **Pass**

Inspected By: **John Durand**

Inspection Date: **17 January 2024 8:49 AM**

Duration: **0 minutes**

### Inspection Element

### Status

Inspection Items

Pass

Confirm any engineer's special requirements

N/A

**Engineer to inspect excavation. See documentation.**

Engineer's inspection/s

N/A

**Engineer to inspect excavation. See documentation.**

## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
 Applicant: **Walsh Carol Sheila**  
 Site Address: **71 Davis Road CUST**  
 Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM**  
**71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
 Location within site:  
 Level Unit Number:  
 Building Category: **R02**

Inspection Type: **Post Holes**  
 Inspection Outcome: **Fail**  
 Inspected By: **John Durand**  
 Inspection Date: **17 January 2024 8:48 AM**  
 Duration: **45 minutes**

Inspection Element	Status
General Items	Pass
Building, Multi-unit, Lot or Tenancy	Pass
Health and Safety requirements <b>Standard WDC uniform. Hi-Vis shirt/jacket worn over where required.</b> <b>Standard safety footwear required and worn on site.</b>	N/A
Approved Building Consent on site	Pass
Previous site instructions	N/A
Inspection Items	Fail
Pegs/boundaries	N/A
Building work siting	N/A
Building Location Certificate Provided	N/A
Correct number of holes <b>12, see amendment requirement.</b>	Fail
Hole depth and diameter <b>600 x 600 x 600mm, with D12 reinforcement cage.</b>	Pass Non Compliance
Bearing achieved <b>Firm bearing achieved</b>	Pass
Holes clean prior to pouring	Pass
Concrete cover to poles <b>Chairs to be fitted, see directive</b>	N/A
Pole/hole alignment	N/A
BA2004 s.28 : Warnings and Bans - Methods and Products	N/A
Amendment Required <b>FORMAL AMENDMENT REQUIRED - Provide Amendment application for the proposed changes. Owner &amp; Designers approval are required.</b> <b>Forward the amendment including application form to buildinginfo@wmk.govt.nz</b> <b>12 x post holes formed, not as plan.</b>	Fail
OK to Pour	Fail
ADDITIONAL ITEMS (as applicable)	Pass
Additional PASSED Items	N/A
Additional PASSED with Site Instructions (Directives to Complete) <b>Chairs to be fitted to steel cages.</b>	Pass
Additional PASS NC (Site Instructions) Requiring Review at Next Inspection	N/A
Additional FAILED Items	N/A
HARDCOPY (Refer Hardcopy inspection Sheet)	N/A





Taken at 8:37 AM on Wednesday 17/01/2024



Taken at 8:37 AM on Wednesday 17/01/2024





Taken at 8:43 AM on Wednesday 17/01/2024



Taken at 8:43 AM on Wednesday 17/01/2024





Taken at 8:43 AM on Wednesday 17/01/2024

## SITE INSPECTION NOTICE

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**  
Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**  
Email To: **barry@dimensionshopfitters.co.nz,mark@masterfoundations.co.nz,admin@phdrainage.co.nz**

Enquiries about this inspection may be directed to the inspector listed on this notice, or via the contact details listed in the header.

**Please email any requested documentation and records of work to buildinginfo@wmk.govt.nz using BC230501 in the subject line.**

Inspection Type: **Compacted Hardfill Pre-DPM**  
Inspection Outcome: **Pass**  
Inspected By: **John Durand - 021 614 528**  
Inspection Date: **17 January 2024**

### Passed Items

Inspection Items

Inspection Type: **Post Holes**  
Inspection Outcome: **Fail**  
Inspected By: **John Durand - 021 614 528**  
Inspection Date: **17 January 2024**

### Passed Items

General Items

Building, Multi-unit, Lot or Tenancy

Approved Building Consent on site

Inspection Items

Bearing achieved

**Firm bearing achieved**

Holes clean prior to pouring

ADDITIONAL ITEMS (as applicable)

Additional PASSED with Site Instructions (Directives to Complete)

**Chairs to be fitted to steel cages.**

### Passed - With Conditions

Inspection Items

Hole depth and diameter

**600 x 600 x 600mm, with D12 reinforcement cage.**

### Failed Items

Inspection Items

Correct number of holes

**12, see amendment requirement.**

Amendment Required

**FORMAL AMENDMENT REQUIRED - Provide Amendment application for the proposed changes. Owner & Designers approval are required. Forward the amendment including application form to [buildinginfo@wmk.govt.nz](mailto:buildinginfo@wmk.govt.nz) 12 x post holes formed, not as plan.**

OK to Pour

---

**Documentation**

As-Built Truss Design  
(Struct.) Engineer's ground bearing notes/report

**Status**

Required  
Required



## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM**  
**71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

Inspection Type: **Structure Pre-Roof Pre-Wrap**  
Inspection Outcome: **Pass Non Compliance**  
Inspected By: **John Durand**  
Inspection Date: **2 February 2024 9:24 AM**  
Duration: **60 minutes**

Inspection Element	Status
General Items	Pass
Building, Multi-unit, Lot or Tenancy	Pass
Health and Safety requirements <b>Standard WDC uniform. Hi-Vis shirt/jacket worn over where required.</b> <b>Standard safety footwear required and worn on site.</b>	N/A
Approved Building Consent on site	Pass
Previous site instructions	N/A
As-Built Truss/Frame Design	Pass
Current PS1 provided <b>PS1 provided for 'as built' truss plan.</b>	Pass
Design Statement Correct <b>Parameters of as built checked against buildable</b>	Pass
Roof Layout <b>As built layout comparable with buildable plan layout.</b>	Pass
Fixings <b>Truss fixings provided for As-built design</b>	Pass
Reminder - Complete Documentation tab	N/A
Inspection Items	Pass Non Compliance
As-Built truss design approved	Pass
Control cuts to slab <b>Control cuts to slab completed</b>	Pass
Framing <b>140/90 x 45mm H1.2 studs at 600mm crs</b>	Pass
DPC <b>DPC under bottom plates</b>	Pass
Plate hold down fixings <b>Plate hold down fixings complete</b>	Pass
Frame connections <b>Frame connections completed</b>	Pass
Truss and rafter connections <b>Truss connections completed except for attic floor support framing</b>	Pass Non Compliance
Purlins <b>H1.2 70X45 Purlins @ 900mm ctrs &amp; screw fixed</b>	Pass
Outriggers at gables <b>Z nails to outriggers on gable ends completed</b>	Pass

Roof bracing <b>Strap bracing fitted</b>	Pass
Stud to top plate <b>Studlok screws fitted</b>	Pass
Lintel hold downs and fixings <b>Lintel hold downs and fixings completed except internal type F</b>	Pass Non Compliance
Lintels <b>Lintel sizes checked</b>	Pass
Post/beam connections <b>Post/beam connections in place</b>	Pass
Structural steel & beams	N/A
Valley boards <b>H3.2 150x25 Valley boards supported@ ends</b>	Pass
Brace panel hold downs <b>Brace panel hold downs complete to external walls except braces ).6 line Q and 1.4 and 1.5 on line E (next inspector see photo. All internal brace hold downs to complete</b>	Pass Non Compliance
Dragon Ties	N/A
External sheet bracing <b>Ply sheets fixed for bracing</b>	Pass
Bottom chord restraints <b>To fit</b>	Pass Non Compliance
Diaphragm Ceilings <b>Diaphragm framing to do</b>	Pass Non Compliance
Fire wall hold-downs and solid blocking	N/A
Engineer's inspection completed <b>Engineer to inspect as consent</b>	Pass Non Compliance
Cricket Flashings Required	N/A
BA2004 s.28 : Warnings and Bans - Methods and Products	N/A
Amendment Required <b>Amendment in processing for veranda changes</b>	N/A
ADDITIONAL ITEMS (as applicable)	N/A
<hr/>	
<b>Documentation</b>	
As-Built Truss Design	Accepted
(Struct.) Engineer's ground bearing notes/report <b>And include scissor truss connections and member sizes.</b>	Required
<hr/>	
<b>Licensed Building Practitioners</b>	
Carpentry 1	Required
Foundations 1	Required
Roofing 1	Required



Taken at 8:45 AM on Friday 2/02/2024



Taken at 8:45 AM on Friday 2/02/2024





Taken at 8:47 AM on Friday 2/02/2024



Taken at 8:47 AM on Friday 2/02/2024





Taken at 8:47 AM on Friday 2/02/2024



Taken at 8:48 AM on Friday 2/02/2024





Taken at 8:48 AM on Friday 2/02/2024



Taken at 8:48 AM on Friday 2/02/2024





Taken at 8:48 AM on Friday 2/02/2024



Taken at 8:49 AM on Friday 2/02/2024



Taken at 8:49 AM on Friday 2/02/2024



Taken at 8:49 AM on Friday 2/02/2024





Taken at 8:49 AM on Friday 2/02/2024



Taken at 8:50 AM on Friday 2/02/2024





Taken at 8:50 AM on Friday 2/02/2024

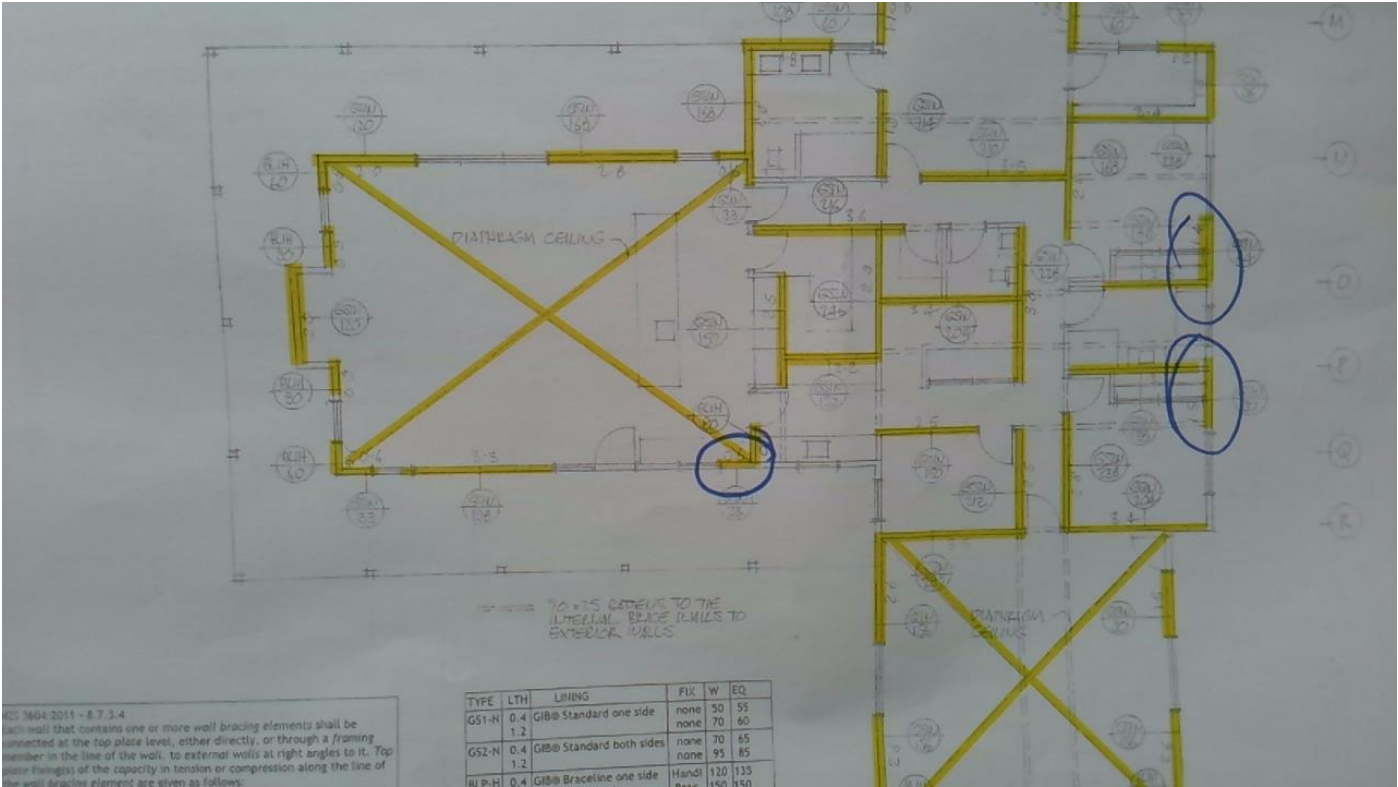


Taken at 8:50 AM on Friday 2/02/2024





Taken at 8:51 AM on Friday 2/02/2024



Taken at 9:20 AM on Friday 2/02/2024



---

**SITE INSPECTION NOTICE**

---

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**  
Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**  
Email To: **barry@dimensionshopfitters.co.nz,mark@masterfoundations.co.nz**

---

Enquiries about this inspection may be directed to the inspector listed on this notice, or via the contact details listed in the header.

**Please email any requested documentation and records of work to buildinginfo@wmk.govt.nz using BC230501 in the subject line.**

---

Inspection Type: **Structure Pre-Roof Pre-Wrap**  
Inspection Outcome: **Pass Non Compliance**  
Inspected By: **John Durand - 021 614 528**  
Inspection Date: **2 February 2024**

**Passed Items**

## General Items

- Building, Multi-unit, Lot or Tenancy
- Approved Building Consent on site

## As-Built Truss/Frame Design

- Current PS1 provided
- Design Statement Correct
- Roof Layout
- Fixings

**PS1 provided for 'as built' truss plan.**  
**Parameters of as built checked against buildable**  
**As built layout comparable with buildable plan layout.**  
**Truss fixings provided for As-built design**

## Inspection Items

- As-Built truss design approved
- Control cuts to slab
- Framing
- DPC
- Plate hold down fixings
- Frame connections
- Purlins
- Outriggers at gables
- Roof bracing
- Stud to top plate
- Lintels
- Post/beam connections
- Valley boards
- External sheet bracing

**Control cuts to slab completed**  
**140/90 x 45mm H1.2 studs at 600mm crs**  
**DPC under bottom plates**  
**Plate hold down fixings complete**  
**Frame connections completed**  
**H1.2 70X45 Purlins @ 900mm ctrs & screw fixed**  
**Z nails to outriggers on gable ends completed**  
**Strap bracing fitted**  
**Studlok screws fitted**  
**Lintel sizes checked**  
**Post/beam connections in place**  
**H3.2 150x25 Valley boards supported@ ends**  
**Ply sheets fixed for bracing**

## Passed - With Conditions

### Inspection Items

Truss and rafter connections

Truss connections completed except for attic floor support framing

Lintel hold downs and fixings

Lintel hold downs and fixings completed except internal type F

Brace panel hold downs

Brace panel hold downs complete to external walls except braces ).6 line Q and 1.4 and 1.5 on line E (next inspector see photo. All internal brace hold downs to complete

Bottom chord restraints

To fit

Diaphragm Ceilings

Diaphragm framing to do

Engineer's inspection completed

Engineer to inspect as consent

---

### Documentation

### Status

As-Built Truss Design

Accepted

(Struct.) Engineer's ground bearing notes/report

Required

**And include scissor truss connections and member sizes.**

---

### Licensed Building Practitioners

### Status

Carpentry 1

Required

Foundations 1

Required

Roofing 1

Required



## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

Inspection Type: **Structure Pre-Roof Pre-Wrap**  
Inspection Outcome: **Pass**  
Inspected By: **Andrew Kendall**  
Inspection Date: **3 April 2024 12:17 PM**  
Duration: **0 minutes**

Inspection Element	Status
Inspection Items	Pass
Truss and rafter connections -Joist hanger to attic floor support framing have now been completed.	Pass
Lintel hold downs and fixings -Internal type 'F' lintel hold-down connections are yet to be completed (see cavity battens & flashings inspection).	Pass
Brace panel hold downs -External brace panel hold-down connections have now been completed, with internal brace hold-downs still to complete (see cavity battens & flashings inspection).	Pass
Bottom chord restraints -Truss bottom-chord restraints to position within 1800mm maximum centers where suspended steel top-hat ceiling battens are installed (see cavity battens & flashings inspection).	Pass
Diaphragm Ceilings -Solid blocking yet to be completed around perimeter of garage diaphragm (see cavity battens & flashings inspection).	Pass
Engineer's inspection completed -Structural Engineer to have viewed and approved structural connections and member sizes, with passed inspection notice and PS4 required prior to the Code Compliance Certificate being issued (see required documentation).	Pass
Cricket Flashings Required	N/A

### Documentation

(Struct.) Engineer's site notes/reports (Specify) -Structural connections and member sizes.	Required
(Clad.) H1 - Doors & Windows - Manufacturer's Statement of Thermal Performance	Required
(Serv.) Electrical certificate	Required
PS4 (Specify) (Engineer's supervision) -Structural connections and member sizes PS4.	Required

### Licensed Building Practitioners

Cladding Installer 1	Required
----------------------	----------



Taken at 12:10 PM on Wednesday 3/04/2024



Taken at 12:10 PM on Wednesday 3/04/2024



## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
 Applicant: **Walsh Carol Sheila**  
 Site Address: **71 Davis Road CUST**  
 Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
 Location within site:  
 Level Unit Number:  
 Building Category: **R02**

Inspection Type: **Building Wrap & Sill Tape**  
 Inspection Outcome: **Pass**  
 Inspected By: **Andrew Kendall**  
 Inspection Date: **3 April 2024 12:30 PM**  
 Duration: **45 minutes**

Inspection Element	Status
General Items	Pass
Building, Multi-unit, Lot or Tenancy	Pass
Health and Safety requirements	N/A
Approved Building Consent on site	Pass
Previous site instructions	N/A
Inspection Items	Pass
Building wrap type	Pass
- <b>Thermakraft WaterGate Plus building wrap installed to building perimeter timber wall framing as required.</b>	
Wrap fastening and laps	Pass
- <b>Building wrap securely fastened with adequate lap.</b>	
Wrap at openings	Pass
- <b>Thermakraft WaterGate Plus building wrap returned to inside face of framing at openings.</b>	
Wrap bottom edge	Pass
- <b>Building wrap overlapping bottom plates.</b>	
Slab edge protection	N/A
Sill tape	Pass
- <b>Sill tapes appear in place as per manufacturers specification and installation instructions/details (note: exterior joinery units, with expanding foam air-seals fully installed at time of inspection).</b>	
Thermal break	N/A
Penetrations	Pass
- <b>No penetrations through Thermakraft WaterGate Plus building wrap at time of inspection.</b>	
Wrap support	Pass
- <b>Thermakraft WaterGate Plus building wrap supported with blue banding to prevent insulation entering cavity.</b>	
PROMPT - Doors & Windows - Manufacturer's Statement of Thermal Compliance	N/A
Fire walls	N/A
BA2004 s.28 : Warnings and Bans - Methods and Products	N/A
Amendment Required	N/A
ADDITIONAL ITEMS (as applicable)	N/A
Additional PASSED Items	N/A
Additional PASSED with Site Instructions (Directives to Complete)	N/A
Additional PASS NC (Site Instructions) Requiring Review at Next Inspection	N/A
Additional FAILED Items	N/A

---

**Documentation**

(Struct.) Engineer's site notes/reports (Specify) <b>-Structural connections and member sizes.</b>	Required
(Clad.) H1 - Doors & Windows - Manufacturer's Statement of Thermal Performance	Required
(Serv.) Electrical certificate	Required
PS4 (Specify) (Engineer's supervision) <b>-Structural connections and member sizes PS4.</b>	Required

---

**Licensed Building Practitioners**

Cladding Installer 1	Required
----------------------	----------





Taken at 12:24 PM on Wednesday 3/04/2024



Taken at 12:24 PM on Wednesday 3/04/2024



Taken at 12:25 PM on Wednesday 3/04/2024



Taken at 12:25 PM on Wednesday 3/04/2024





Taken at 12:25 PM on Wednesday 3/04/2024



Taken at 12:25 PM on Wednesday 3/04/2024



Taken at 12:25 PM on Wednesday 3/04/2024



Taken at 12:25 PM on Wednesday 3/04/2024





Taken at 12:26 PM on Wednesday 3/04/2024



Taken at 12:26 PM on Wednesday 3/04/2024



Taken at 12:26 PM on Wednesday 3/04/2024



Taken at 12:26 PM on Wednesday 3/04/2024





Taken at 12:26 PM on Wednesday 3/04/2024



Taken at 12:26 PM on Wednesday 3/04/2024



Taken at 12:27 PM on Wednesday 3/04/2024



## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM**  
**71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

Inspection Type: **Cavity Battens & Flashings**  
Inspection Outcome: **Pass Non Compliance**  
Inspected By: **Andrew Kendall**  
Inspection Date: **3 April 2024 12:20 PM**  
Duration: **60 minutes**

Inspection Element	Status
General Items	Pass
Building, Multi-unit, Lot or Tenancy	Pass
Health and Safety requirements	N/A
Approved Building Consent on site	Pass
Previous site instructions	N/A
Inspection Items	Pass Non Compliance
Cavity batten type, spacing and fixings <b>-40x20mm, H3.2 treated vertical cavity battens are generally in position to JH Linea weatherboard cladding areas, with double vertical battens to completed beside exterior joinery jambs and complete above exterior joinery units.</b>	Pass Non Compliance
Cavity closers <b>-Slotted uPVC cavity closers are in place.</b>	Pass
Flashings <b>-Exterior joinery head flashings are yet to position.</b>	Pass Non Compliance
Door & Window support <b>-Full length aluminum WANZ bars are installed beneath the exterior joinery units.</b>	Pass
BA2004 s.28 : Warnings and Bans - Methods and Products	N/A
Amendment Required <b>-FORMAL AMENDMENT REQUIRED - Provide amendment application for the proposed changes from plywood cladding to JH Linea. Owner &amp; Designers approval are required. Forward the amendment including application form to buildinginfo@wmk.govt.nz.</b>	Pass Non Compliance
ADDITIONAL ITEMS (as applicable)	Pass Non Compliance
Additional PASSED Items	N/A
Additional PASSED with Site Instructions (Directives to Complete)	N/A
Additional PASS NC (Site Instructions) Requiring Review at Next Inspection <b>-Internal type 'F' lintel hold-down connections are yet to be completed.</b>  <b>-Internal brace panel hold-down connections are still to completed.</b>  <b>-Truss bottom-chord restraints to position within 1800mm maximum centers where suspended steel top-hat ceiling battens are installed.</b>  <b>-Solid blocking yet to be completed around perimeter of garage diaphragm.</b>	Pass Non Compliance
Additional FAILED Items	N/A
HARDCOPY (Refer Hardcopy inspection Sheet)	N/A

### Documentation

(Struct.) Engineer's site notes/reports (Specify) <b>-Structural connections and member sizes.</b>	Required
(Clad.) H1 - Doors & Windows - Manufacturer's Statement of Thermal Performance	Required
(Serv.) Electrical certificate	Required
PS4 (Specify) (Engineer's supervision) <b>-Structural connections and member sizes PS4.</b>	Required

---

#### **Licensed Building Practitioners**

Cladding Installer 1	Required
----------------------	----------





Taken at 12:32 PM on Wednesday 3/04/2024



Taken at 12:33 PM on Wednesday 3/04/2024



Taken at 12:33 PM on Wednesday 3/04/2024



Taken at 12:33 PM on Wednesday 3/04/2024





Taken at 12:33 PM on Wednesday 3/04/2024



Taken at 12:33 PM on Wednesday 3/04/2024



Taken at 12:33 PM on Wednesday 3/04/2024



Taken at 12:33 PM on Wednesday 3/04/2024





Taken at 12:34 PM on Wednesday 3/04/2024



Taken at 12:34 PM on Wednesday 3/04/2024





Taken at 12:34 PM on Wednesday 3/04/2024



Taken at 12:34 PM on Wednesday 3/04/2024



## SITE INSPECTION NOTICE

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**  
Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**  
Email To: **barry@dimensionshopfitters.co.nz,shane@surebuilding.co.nz**

Enquiries about this inspection may be directed to the inspector listed on this notice, or via the contact details listed in the header.

**Please email any requested documentation and records of work to buildinginfo@wmk.govt.nz using BC230501 in the subject line.**

Inspection Type: **Structure Pre-Roof Pre-Wrap**  
Inspection Outcome: **Pass**  
Inspected By: **Andrew Kendall - 027 453 8144**  
Inspection Date: **3 April 2024**

### Passed Items

#### Inspection Items

Truss and rafter connections	-Joist hanger to attic floor support framing have now been completed.
Lintel hold downs and fixings	-Internal type 'F' lintel hold-down connections are yet to be completed (see cavity battens & flashings inspection).
Brace panel hold downs	-External brace panel hold-down connections have now been completed, with internal brace hold-downs still to complete (see cavity battens & flashings inspection).
Bottom chord restraints	-Truss bottom-chord restraints to position within 1800mm maximum centers where suspended steel top-hat ceiling battens are installed (see cavity battens & flashings inspection).
Diaphragm Ceilings	-Solid blocking yet to be completed around perimeter of garage diaphragm (see cavity battens & flashings inspection).
Engineer's inspection completed	-Structural Engineer to have viewed and approved structural connections and member sizes, with passed inspection notice and PS4 required prior to the Code Compliance Certificate being issued (see required documentation).

Inspection Type: **Building Wrap & Sill Tape**  
Inspection Outcome: **Pass**  
Inspected By: **Andrew Kendall - 027 453 8144**  
Inspection Date: **3 April 2024**

## Passed Items

### General Items

Building, Multi-unit, Lot or Tenancy  
Approved Building Consent on site

### Inspection Items

Building wrap type

-Thermakraft WaterGate Plus building wrap installed to building perimeter timber wall framing as required.

Wrap fastening and laps

-Building wrap securely fastened with adequate lap.

Wrap at openings

-Thermakraft WaterGate Plus building wrap returned to inside face of framing at openings.

Wrap bottom edge

-Building wrap overlapping bottom plates.

Sill tape

-Sill tapes appear in place as per manufacturers specification and installation instructions/details (note: exterior joinery units, with expanding foam air-seals fully installed at time of inspection).

Penetrations

-No penetrations through Thermakraft WaterGate Plus building wrap at time of inspection.

Wrap support

-Thermakraft WaterGate Plus building wrap supported with blue banding to prevent insulation entering cavity.

---

Inspection Type: **Cavity Battens & Flashings**  
Inspection Outcome: **Pass Non Compliance**  
Inspected By: **Andrew Kendall - 027 453 8144**  
Inspection Date: **3 April 2024**

## Passed Items

### General Items

Building, Multi-unit, Lot or Tenancy  
Approved Building Consent on site

### Inspection Items

Cavity closers

-Slotted uPVC cavity closers are in place.

Door & Window support

-Full length aluminum WANZ bars are installed beneath the exterior joinery units.

## Passed - With Conditions

### Inspection Items

Cavity batten type, spacing and fixings

-40x20mm, H3.2 treated vertical cavity battens are generally in position to JH Linea weatherboard cladding areas, with double vertical battens to completed beside exterior joinery jambs and complete above exterior joinery units.

Flashings

-Exterior joinery head flashings are yet to position.

Amendment Required

-FORMAL AMENDMENT REQUIRED - Provide amendment application for the proposed changes from plywood cladding to JH Linea. Owner & Designers approval are required.  
Forward the amendment including application form to [buildinginfo@wmk.govt.nz](mailto:buildinginfo@wmk.govt.nz).

### ADDITIONAL ITEMS (as applicable)

Additional PASS NC (Site Instructions) Requiring Review at Next Inspection

-Internal type 'F' lintel hold-down connections are yet to be completed.

-Internal brace panel hold-down connections are still to completed.



-Truss bottom-chord restraints to position within 1800mm maximum centers where suspended steel top-hat ceiling battens are installed.

-Solid blocking yet to be completed around perimeter of garage diaphragm.

---

**Documentation****Status**

As-Built Truss Design	Accepted
(Struct.) Engineer's site notes/reports (Specify) <b>-Structural connections and member sizes.</b>	Required
(Struct.) Engineer's ground bearing notes/report <b>And include scissor truss connections and member sizes.</b>	Required
(Clad.) H1 - Doors & Windows - Manufacturer's Statement of Thermal Performance	Required
(Serv.) Electrical certificate	Required
PS4 (Specify) (Engineer's supervision) <b>-Structural connections and member sizes PS4.</b>	Required

---

**Licensed Building Practitioners****Status**

Carpentry 1	Required
Foundations 1	Required
Cladding Installer 1	Required
Roofing 1	Required

## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM**  
**71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

Inspection Type: **Cavity Battens & Flashings**  
Inspection Outcome: **Pass Non Compliance**  
Inspected By: **Mike Rowe**  
Inspection Date: **2 May 2024 1:39 PM**  
Duration: **0 minutes**

Inspection Element	Status
Inspection Items	Pass
Cavity batten type, spacing and fixings	Pass
<b>-40x20mm, H3.2 treated vertical cavity battens are generally in position to JH Linea weatherboard cladding areas, with double vertical battens to completed beside exterior joinery jambs and complete above exterior joinery units.</b>	
<b>NOW IN PLACE</b>	
Flashings	Pass
<b>-Exterior joinery head flashings are yet to position.</b>	
<b>NOW IN PLACDE</b>	
Amendment Required	Pass
<b>-FORMAL AMENDMENT REQUIRED - Provide amendment application for the proposed changes from plywood cladding to JH Linea. Owner &amp; Designers approval are required. Forward the amendment including application form to buildinginfo@wmk.govt.nz.</b>	
<b>AMENDMENT NOW APPROVED</b>	
ADDITIONAL ITEMS (as applicable)	Pass Non Compliance
Additional PASS NC (Site Instructions) Requiring Review at Next Inspection	Pass Non Compliance
<b>-**Truss bottom-chord restraints to position within 1800mm maximum centers where suspended steel top-hat ceiling battens are installed.</b>	
<b>**Internal brace panel hold-down connections are still to completed.</b>	
<b>-Internal type 'F' lintel hold-down connections are yet to be completed.</b>	
<b>NOW IN PLACE 2/05/2024</b>	
<b>-Internal brace panel hold-down connections are still to completed.</b>	
<b>-Solid blocking yet to be completed around perimeter of garage diaphragm.</b>	
<b>NOW COMPLETED 2/05/2024</b>	





Taken at 1:21 PM on Thursday 2/05/2024



Taken at 1:21 PM on Thursday 2/05/2024



Taken at 1:26 PM on Thursday 2/05/2024



Taken at 1:26 PM on Thursday 2/05/2024



Taken at 1:26 PM on Thursday 2/05/2024



Taken at 1:26 PM on Thursday 2/05/2024



## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM**  
**71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

Inspection Type: **Mid Height Cladding**  
Inspection Outcome: **Pass Non Compliance**  
Inspected By: **Mike Rowe**  
Inspection Date: **2 May 2024 1:19 PM**  
Duration: **45 minutes**

Inspection Element	Status
General Items	Pass
Building, Multi-unit, Lot or Tenancy	Pass
Health and Safety requirements	N/A
Approved Building Consent on site	Pass
Previous site instructions	N/A
Inspection Items	Pass Non Compliance
Back flashings	Pass
<b>PVC internal corner flashings in place</b>	
<b>Transition flashings in place</b>	
Head flashings	Pass Non Compliance
<b>Metal head flashings in place, taped to wrap</b>	
<b>*Stopends to be formed to garage</b>	
Sill tray flashings	N/A
Door & Window support	Pass
<b>Wanz bars in place</b>	
Cladding type and system as per consented	Pass
<b>Linea weatherboards</b>	
Cladding Fixings	Pass
<b>Conceal fixed</b>	
Penetrations	Pass
BA2004 s.28 : Warnings and Bans - Methods and Products	N/A
Amendment Required	N/A
ADDITIONAL ITEMS (as applicable)	N/A



Taken at 1:12 PM on Thursday 2/05/2024



Taken at 1:12 PM on Thursday 2/05/2024



Taken at 1:12 PM on Thursday 2/05/2024



Taken at 1:12 PM on Thursday 2/05/2024





Taken at 1:13 PM on Thursday 2/05/2024



Taken at 1:14 PM on Thursday 2/05/2024



Taken at 1:14 PM on Thursday 2/05/2024



Taken at 1:14 PM on Thursday 2/05/2024



Taken at 1:14 PM on Thursday 2/05/2024



Taken at 1:15 PM on Thursday 2/05/2024





Taken at 1:15 PM on Thursday 2/05/2024



Taken at 1:15 PM on Thursday 2/05/2024



Taken at 1:16 PM on Thursday 2/05/2024



Taken at 1:17 PM on Thursday 2/05/2024



**transition flashings**

Taken at 1:18 PM on Thursday 2/05/2024



## SITE INSPECTION NOTICE

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**  
Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**  
Email To: **barry@dimensionshopfitters.co.nz**

Enquiries about this inspection may be directed to the inspector listed on this notice, or via the contact details listed in the header.

**Please email any requested documentation and records of work to buildinginfo@wmk.govt.nz using BC230501 in the subject line.**

Inspection Type: **Cavity Battens & Flashings**  
Inspection Outcome: **Pass Non Compliance**  
Inspected By: **Mike Rowe - 021 310 389**  
Inspection Date: **2 May 2024**

### Passed Items

#### Inspection Items

Cavity batten type, spacing and fixings

-40x20mm, H3.2 treated vertical cavity battens are generally in position to JH Linea weatherboard cladding areas, with double vertical battens to completed beside exterior joinery jambs and complete above exterior joinery units.  
**NOW IN PLACE**

Flashings

-Exterior joinery head flashings are yet to position.  
**NOW IN PLACE**

Amendment Required

-**FORMAL AMENDMENT REQUIRED** - Provide amendment application for the proposed changes from plywood cladding to JH Linea. Owner & Designers approval are required.  
Forward the amendment including application form to buildinginfo@wmk.govt.nz.  
**AMENDMENT NOW APPROVED**

### Passed - With Conditions

#### ADDITIONAL ITEMS (as applicable)

Additional PASS NC (Site Instructions) Requiring Review at Next Inspection

-**\*\*Truss bottom-chord restraints to position within 1800mm maximum centers where suspended steel top-hat ceiling battens are installed.**

**\*\*Internal brace panel hold-down connections are still to completed.**

-Internal type 'F' lintel hold-down connections are yet to be completed.  
**NOW IN PLACE 2/05/2024**

-Internal brace panel hold-down connections are still

to completed.

-Solid blocking yet to be completed around perimeter of garage diaphragm.  
NOW COMPLETED 2/05/2024

---

Inspection Type: **Mid Height Cladding**  
Inspection Outcome: **Pass Non Compliance**  
Inspected By: **Mike Rowe - 021 310 389**  
Inspection Date: **2 May 2024**

## Passed Items

### General Items

Building, Multi-unit, Lot or Tenancy  
Approved Building Consent on site

### Inspection Items

Back flashings	PVC internal corner flashings in place Transition flashings in place
Door & Window support	Wanz bars in place
Cladding type and system as per consented	Linea weatherboards
Cladding Fixings	Conceal fixed
Penetrations	

## Passed - With Conditions

### Inspection Items

Head flashings	Metal head flashings in place, taped to wrap *Stopends to be formed to garage
----------------	--

---

## Documentation

## Status

As-Built Truss Design	Accepted
(Struct.) Engineer's site notes/reports (Specify) <b>-Structural connections and member sizes.</b>	Required
(Struct.) Engineer's ground bearing notes/report <b>And include scissor truss connections and member sizes.</b>	Required
(Clad.) H1 - Doors & Windows - Manufacturer's Statement of Thermal Performance	Required
(Serv.) Electrical certificate	Required
PS4 (Specify) (Engineer's supervision) <b>-Structural connections and member sizes PS4.</b>	Required

---

## Licensed Building Practitioners

## Status

Carpentry 1	Required
Foundations 1	Required
Cladding Installer 1	Required
Roofing 1	Required

## SITE INSPECTION AUDIT REPORT

---

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

---

Inspection Type: **Cavity Battens & Flashings**  
Inspection Outcome: **Pass**  
Inspected By: **Andrew Kendall**  
Inspection Date: **23 May 2024 11:02 AM**  
Duration: **0 minutes**

Inspection Element	Status
ADDITIONAL ITEMS (as applicable)	Pass
Additional PASS NC (Site Instructions) Requiring Review at Next Inspection	Pass
<b>-Truss bottom-chord restraints have now been positioned within 1800mm maximum centers where suspended steel top-hat ceiling battens are installed.</b>	
<b>-Internal brace panel hold-down connections are now installed as observed in conjunction with the pre-line inspection, dated: 23/05/2024.</b>	

---

### Documentation

(Serv.) PS3 Plumbing (Pipework Pressure Test Certificate)	Required
(Serv.) Gas Certificate	Required



## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

Inspection Type: **Preline & Plumbing**  
Inspection Outcome: **Fail**  
Inspected By: **Andrew Kendall**  
Inspection Date: **23 May 2024 10:26 AM**  
Duration: **75 minutes**

Inspection Element	Status
General Items	Pass
Building, Multi-unit, Lot or Tenancy	Pass
Health and Safety requirements <b>Standard WDC uniform. Hi-Vis shirt/jacket worn over where required. Standard safety footwear required and worn on site.</b>	N/A
Approved Building Consent on site	Pass
Previous site instructions	N/A
Inspection Items	Fail
Exterior claddings completed <b>-Exterior weatherboard cladding generally completed at time of inspection.</b>	Pass
Temporary weather proofing in place to garage door and chimney cap	N/A
Wall and ceiling insulation <b>-Wall and ceiling insulation is yet to be installed with snug fit, clearances to roof underlay and correct R values.</b>	Fail
Air seals & backing rods <b>-Expanding foam air seals applied to gaps around the exterior joinery units located within the building perimeter timber wall framing openings in accordance with the New Zealand Building Code, Clause: E2/AS1.</b>	Pass
Window identification stickers and safety glass labels <b>-Window wind zones: High.</b>	Pass
Packers sealed over <b>-Timber packers supporting the exterior joinery units located within the building perimeter timber wall framing openings have been adequately sealed over in conjunction with the air seal installation method.</b>	Pass
Plumbing pipework <b>-Lagging to plumbing pipe work outside the thermal envelope to be check once insulation has been fitted.</b>	Fail
Pressure test statement requested for final (Site Instruction) <b>-Plumbers pipe work installation pressure test statement is required prior to the Code Compliance Certificate being issued (see required documentation).</b>	Pass
Correct pipe work size, runs and distance to Hot Water Cylinder <b>-Correct pipe work size, runs and distance to hot water cylinder.</b>	Pass
Solar pipework	N/A
Gas pipework <b>-Gas self-certified pipe work installed (see required documentation).</b>	Pass
Wastes and vents <b>-Plumbing fixture waste pipes are in position, including both internal WC's having been</b>	Pass

**vented with AAV's located within the ceiling void space as per approved sheet number: 02.**

Soil stack venting	N/A
Bottom-plate hold downs	Pass
<b>-Hold downs to bottom plates including brace panel elements completed as per approved sheet number: 04.</b>	
Flush boxes in bracing panels	Pass
<b>-Flush boxes are 90mm minimum away from brace panel sheet perimeters.</b>	
Solid blocking in place to fire walls with fire rated flush boxes	N/A
Moisture content readings	Pass
<b>-Timber moisture content is within 18%.</b>	
Ceiling battens	Pass
<b>-Mixture of direct fixed H1.2 treated timber and suspended steel top-hat ceiling battens installed within 600mm centers.</b>	
Diaphragm Ceilings	Fail
<b>-Garage diaphragm ceiling requires solid blocking to be completed between suspended steel top-hat ceiling battens installed within 600mm centers and truss bottom-chords.</b>	
Bottom-chord restraint	Pass
<b>-Truss bottom-chord restraints are installed within 1800mm centers.</b>	
Stud strengtheners	Pass
<b>-Stud strengthener in place to over sized waste pipe penetration.</b>	
Top plate strengtheners	Pass
<b>-Top plate strengthener's are in place to over sized vent pipe penetrations.</b>	
Dwangs in place above shower trays	N/A
Metal angles to internal corners of tiled shower wall	Fail
<b>-Metal angles to internal corners of tiled shower walls are yet to position as per approved tiled shower detail.</b>	
BA2004 s.28 : Warnings and Bans - Methods and Products	N/A
Amendment Required	Fail
<b>-MINOR VARIATION REQUIRED (Via Office) - Download and complete an "Application for a Minor Variation" and submit the form along with relevant supporting information to the WDC Building Unit for additional stairs having been added to '1st floor room' area and removal of garage window as consideration as a minor variation (revised elevations to be provided due to previous changes to exterior). Forward information to <a href="mailto:buildinginfo@wmk.govt.nz">buildinginfo@wmk.govt.nz</a> or submit via the Sharefile portal. Guidance on the process can be found at <a href="https://www.waimakariri.govt.nz/council/documents-by-laws-plans/fact-sheets">https://www.waimakariri.govt.nz/council/documents-by-laws-plans/fact-sheets</a> Application form can be downloaded from <a href="https://www.waimakariri.govt.nz/consents-and-licences/forms-a-to-z/">https://www.waimakariri.govt.nz/consents-and-licences/forms-a-to-z/</a>.</b>	
<b>-Note: Minor variation to state what 1st floor room area is proposed to be used for, if changed from attic space to living area will require thermal insulation blanket.</b>	
Commercial Preline Additional Items	N/A
ADDITIONAL ITEMS (as applicable)	Pass
Additional PASSED Items	N/A
Additional PASSED with Site Instructions (Directives to Complete)	Pass
<b>-Structural Engineer to have viewed and approved structural connections and member sizes, with passed inspection notice and PS4 required prior to the Code Compliance Certificate being issued (see required documentation).</b>	
Additional PASS NC (Site Instructions) Requiring Review at Next Inspection	N/A
Additional FAILED Items	N/A
HARDCOPY (Refer Hardcopy inspection Sheet)	N/A

## Documentation

(Serv.) PS3 Plumbing (Pipework Pressure Test Certificate)	Required
(Serv.) Gas Certificate	Required



Taken at 10:36 AM on Thursday 23/05/2024



Taken at 10:36 AM on Thursday 23/05/2024





Taken at 10:36 AM on Thursday 23/05/2024



Taken at 10:37 AM on Thursday 23/05/2024



Taken at 10:37 AM on Thursday 23/05/2024



Taken at 10:37 AM on Thursday 23/05/2024





Taken at 10:38 AM on Thursday 23/05/2024



Taken at 10:38 AM on Thursday 23/05/2024





Taken at 10:38 AM on Thursday 23/05/2024



Taken at 10:38 AM on Thursday 23/05/2024



Taken at 10:39 AM on Thursday 23/05/2024



Taken at 10:39 AM on Thursday 23/05/2024





Taken at 10:39 AM on Thursday 23/05/2024



Taken at 10:39 AM on Thursday 23/05/2024





Taken at 10:40 AM on Thursday 23/05/2024



Taken at 10:40 AM on Thursday 23/05/2024



Taken at 10:40 AM on Thursday 23/05/2024



Taken at 10:40 AM on Thursday 23/05/2024



Taken at 10:41 AM on Thursday 23/05/2024



Taken at 10:41 AM on Thursday 23/05/2024





Taken at 10:41 AM on Thursday 23/05/2024



Taken at 10:41 AM on Thursday 23/05/2024



Taken at 10:45 AM on Thursday 23/05/2024



Taken at 10:49 AM on Thursday 23/05/2024

## SITE INSPECTION NOTICE

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**  
Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**  
Email To: **barry@dimensionshopfitters.co.nz,shane@surebuilding.co.nz**

Enquiries about this inspection may be directed to the inspector listed on this notice, or via the contact details listed in the header.

**Please email any requested documentation and records of work to buildinginfo@wmk.govt.nz using BC230501 in the subject line.**

Inspection Type: **Cavity Battens & Flashings**  
Inspection Outcome: **Pass**  
Inspected By: **Andrew Kendall - 027 453 8144**  
Inspection Date: **23 May 2024**

### Passed Items

#### ADDITIONAL ITEMS (as applicable)

Additional PASS NC (Site Instructions) Requiring  
Review at Next Inspection

**-Truss bottom-chord restraints have now been positioned within 1800mm maximum centers where suspended steel top-hat ceiling battens are installed.**

**-Internal brace panel hold-down connections are now installed as observed in conjunction with the pre-line inspection, dated: 23/05/2024.**

Inspection Type: **Preline & Plumbing**  
Inspection Outcome: **Fail**  
Inspected By: **Andrew Kendall - 027 453 8144**  
Inspection Date: **23 May 2024**

### Passed Items

#### General Items

Building, Multi-unit, Lot or Tenancy  
Approved Building Consent on site

#### Inspection Items

Exterior claddings completed

**-Exterior weatherboard cladding generally completed at time of inspection.**

Air seals & backing rods

**-Expanding foam air seals applied to gaps around the exterior joinery units located within the building perimeter timber wall framing openings in accordance with the New Zealand Building Code, Clause: E2/AS1.**

Window identification stickers and safety glass labels  
Packers sealed over

**-Window wind zones: High.**

**-Timber packers supporting the exterior joinery units**



Pressure test statement requested for final (Site Instruction)	located within the building perimeter timber wall framing openings have been adequately sealed over in conjunction with the air seal installation method.
Correct pipe work size, runs and distance to Hot Water Cylinder	-Plumbers pipe work installation pressure test statement is required prior to the Code Compliance Certificate being issued (see required documentation).
Gas pipework	-Correct pipe work size, runs and distance to hot water cylinder.
Wastes and vents	-Gas self-certified pipe work installed (see required documentation).
	-Plumbing fixture waste pipes are in position, including both internal WC's having been vented with AAV's located within the ceiling void space as per approved sheet number: 02.
Bottom-plate hold downs	-Hold downs to bottom plates including brace panel elements completed as per approved sheet number: 04.
Flush boxes in bracing panels	-Flush boxes are 90mm minimum away from brace panel sheet perimeters.
Moisture content readings	-Timber moisture content is within 18%.
Ceiling battens	-Mixture of direct fixed H1.2 treated timber and suspended steel top-hat ceiling battens installed within 600mm centers.
Bottom-chord restraint	-Truss bottom-chord restraints are installed within 1800mm centers.
Stud strengtheners	-Stud strengthener in place to over sized waste pipe penetration.
Top plate strengtheners	-Top plate strengthener's are in place to over sized vent pipe penetrations.
ADDITIONAL ITEMS (as applicable)	
Additional PASSED with Site Instructions (Directives to Complete)	-Structural Engineer to have viewed and approved structural connections and member sizes, with passed inspection notice and PS4 required prior to the Code Compliance Certificate being issued (see required documentation).
<b>Failed Items</b>	
Inspection Items	
Wall and ceiling insulation	-Wall and ceiling insulation is yet to be installed with snug fit, clearances to roof underlay and correct R values.
Plumbing pipework	-Lagging to plumbing pipe work outside the thermal envelope to be check once insulation has been fitted.
Diaphragm Ceilings	-Garage diaphragm ceiling requires solid blocking to be completed between suspended steel top-hat ceiling battens installed within 600mm centers and truss bottom-chords.
Metal angles to internal corners of tiled shower wall	-Metal angles to internal corners of tiled shower walls are yet to position as per approved tiled shower detail.
Amendment Required	-MINOR VARIATION REQUIRED (Via Office) - Download and complete an "Application for a Minor Variation" and submit the form along with relevant supporting information to the WDC Building Unit for additional stairs having been added to '1st floor room' area and removal of garage window as consideration as a minor variation (revised elevations to be provided due to previous changes to exterior). Forward information to <a href="mailto:buildinginfo@wmk.govt.nz">buildinginfo@wmk.govt.nz</a> or submit via the Sharefile portal.

Guidance on the process can be found at  
<https://www.waimakariri.govt.nz/council/documents-bylaws-plans/fact-sheets>  
 Application form can be downloaded from  
<https://www.waimakariri.govt.nz/consents-and-licences/forms-a-to-z/>.

**-Note:** Minor variation to state what 1st floor room area is proposed to be used for, if changed from attic space to living area will require thermal insulation blanket.

---

## Documentation

As-Built Truss Design	Accepted
(Struct.) Engineer's site notes/reports (Specify) <b>-Structural connections and member sizes.</b>	Required
(Struct.) Engineer's ground bearing notes/report <b>And include scissor truss connections and member sizes.</b>	Required
(Clad.) H1 - Doors & Windows - Manufacturer's Statement of Thermal Performance	Required
(Serv.) Electrical certificate	Required
(Serv.) PS3 Plumbing (Pipework Pressure Test Certificate)	Required
(Serv.) Gas Certificate	Required
PS4 (Specify) (Engineer's supervision) <b>-Structural connections and member sizes PS4.</b>	Required

---

## Licensed Building Practitioners

	Status
Carpentry 1	Required
Foundations 1	Required
Cladding Installer 1	Required
Roofing 1	Required

## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

Inspection Type: **Preline & Plumbing**  
Inspection Outcome: **Pass Non Compliance**  
Inspected By: **John Durand**  
Inspection Date: **18 July 2024 1:19 PM**  
Duration: **45 minutes**

Inspection Element	Status
Inspection Items	Pass Non Compliance
Wall and ceiling insulation -Wall and ceiling insulation installed	Pass
Plumbing pipework -Lagging to plumbing pipe work appears complete	Pass
Diaphragm Ceilings -Garage diaphragm ceiling has solid blocking	Pass
Metal angles to internal corners of tiled shower wall -Metal angles to internal corners of tiled shower walls are in position as per approved tiled shower detail.	Pass
Amendment Required -MINOR VARIATION REQUIRED (Via Office) - Download and complete an "Application for a Minor Variation" and submit the form along with relevant supporting information to the WDC Building Unit for additional stairs having been added to '1st floor room' area and removal of garage window as consideration as a minor variation (revised elevations to be provided due to previous changes to exterior). Forward information to <a href="mailto:buildinginfo@wmk.govt.nz">buildinginfo@wmk.govt.nz</a> or submit via the Sharefile portal. Guidance on the process can be found at <a href="https://www.waimakariri.govt.nz/council/documents-bylaws-plans/fact-sheets">https://www.waimakariri.govt.nz/council/documents-bylaws-plans/fact-sheets</a> Application form can be downloaded from <a href="https://www.waimakariri.govt.nz/consents-and-licences/forms-a-to-z/">https://www.waimakariri.govt.nz/consents-and-licences/forms-a-to-z/</a> .	Pass Non Compliance
-Note: Minor variation to state what 1st floor room area is proposed to be used for, now fully insulated.	





Taken at 1:06 PM on Thursday 18/07/2024



Taken at 1:07 PM on Thursday 18/07/2024



Taken at 1:07 PM on Thursday 18/07/2024



Taken at 1:07 PM on Thursday 18/07/2024





Taken at 1:08 PM on Thursday 18/07/2024



Taken at 1:08 PM on Thursday 18/07/2024





Taken at 1:09 PM on Thursday 18/07/2024



Taken at 1:10 PM on Thursday 18/07/2024

---

**SITE INSPECTION NOTICE**

---

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**  
Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**  
Email To: **barry@dimensionshopfitters.co.nz,mark@masterfoundations.co.nz,shane@surebuilding.co.nz**

---

Enquiries about this inspection may be directed to the inspector listed on this notice, or via the contact details listed in the header.

**Please email any requested documentation and records of work to buildinginfo@wmk.govt.nz using BC230501 in the subject line.**

---

Inspection Type: **Preline & Plumbing**  
Inspection Outcome: **Pass Non Compliance**  
Inspected By: **John Durand - 021 614 528**  
Inspection Date: **18 July 2024**

**Passed Items**

## Inspection Items

Wall and ceiling insulation  
Plumbing pipework  
Diaphragm Ceilings  
Metal angles to internal corners of tiled shower wall

-Wall and ceiling insulation installed  
-Lagging to plumbing pipe work appears complete  
-Garage diaphragm ceiling has solid blocking  
-Metal angles to internal corners of tiled shower walls are in position as per approved tiled shower detail.

**Passed - With Conditions**

## Inspection Items

Amendment Required

**-MINOR VARIATION REQUIRED (Via Office) -**  
Download and complete an "Application for a Minor Variation" and submit the form along with relevant supporting information to the WDC Building Unit for additional stairs having been added to '1st floor room' area and removal of garage window as consideration as a minor variation (revised elevations to be provided due to previous changes to exterior). Forward information to buildinginfo@wmk.govt.nz or submit via the Sharefile portal.  
Guidance on the process can be found at <https://www.waimakariri.govt.nz/council/documents-bylaws-plans/fact-sheets>  
Application form can be downloaded from <https://www.waimakariri.govt.nz/consents-and-licences/forms-a-to-z/>.

**-Note: Minor variation to state what 1st floor room area is proposed to be used for, now fully insulated.**

<b>Documentation</b>	<b>Status</b>
As-Built Truss Design	Accepted
(Struct.) Engineer's site notes/reports (Specify) <b>-Structural connections and member sizes.</b>	Required
(Struct.) Engineer's ground bearing notes/report <b>And include scissor truss connections and member sizes.</b>	Required
(Clad.) H1 - Doors & Windows - Manufacturer's Statement of Thermal Performance	Required
(Serv.) Electrical certificate	Required
(Serv.) PS3 Plumbing (Pipework Pressure Test Certificate)	Required
(Serv.) Gas Certificate	Required
PS4 (Specify) (Engineer's supervision) <b>-Structural connections and member sizes PS4.</b>	Required

---

<b>Licensed Building Practitioners</b>	<b>Status</b>
Carpentry 1	Required
Foundations 1	Required
Cladding Installer 1	Required
Roofing 1	Required



## SITE INSPECTION AUDIT REPORT

---

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

---

Inspection Type: **Preline & Plumbing**  
Inspection Outcome: **Pass**  
Inspected By: **John Thornton**  
Inspection Date: **24 July 2024 10:49 AM**  
Duration: **0 minutes**

Inspection Element	Status
Inspection Items	Pass
Amendment Required	Pass
<b>PREVIOUS INSTRUCTION CARRIED FORWARD WITH ADDITIONAL NOTES</b>	

## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
 Applicant: **Walsh Carol Sheila**  
 Site Address: **71 Davis Road CUST**  
 Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
 Location within site:  
 Level Unit Number:  
 Building Category: **R02**

Inspection Type: **Pre-Stopping**  
 Inspection Outcome: **Fail**  
 Inspected By: **John Thornton**  
 Inspection Date: **24 July 2024 10:48 AM**  
 Duration: **60 minutes**

Inspection Element	Status
General Items	Pass
Building, Multi-unit, Lot or Tenancy	Pass
Health and Safety requirements	N/A
Approved Building Consent on site	Pass
Previous site instructions	N/A
Inspection Items	Fail
Wall linings	Pass
<b>10mm Gib</b>	
Bracing	Pass
<b>Brace panels in place</b>	
Wet area water resistant linings	Pass
<b>Aqualine to walls and ceilings</b>	
Metal angle in place to internal corners of tiled shower	Pass
<b>See the preline inspection noticwe</b>	
Tiled area fixings	Fail
<b>Aqualine fixings within 150mm ctrs</b>	
<b>*No nogs installed behind the bathroom &amp; ensuite tiled shower horizontal sheet joint locations as Gib Wet Area Systems 2021 manual (see detail on page 14 of manual) . To be rectified.</b>	
Fire walls	N/A
Diaphragm ceilings	Fail
<b>Both diaphragm ceilings in place.</b>	
<b>*The Diaphragm ceiling to the dining/kitchen area perimeter screw pattern for diaphragm over 7.5m long to be reduced from 150mm centres to 100mm centres as Gib specifications.</b>	
Diaphragm ceiling penetrations	Pass
<b>Only cables at time of prestop inspection.</b>	
Manhole access openings	Pass
<b>Access stairs to attic now in place *SEE BELOW</b>	
Ceiling linings and battens	Pass
<b>13mm linings</b>	
BA2004 s.28 : Warnings and Bans - Methods and Products	N/A
Amendment Required	Pass Non Compliance
<b>-MINOR VARIATION REQUIRED (Via Office) - Download and complete an "Application for a</b>	

Minor Variation" and submit the form along with relevant supporting information to the WDC Building Unit for additional stairs having been added to '1st floor room' area and removal of garage window as consideration as a minor variation (revised elevations to be provided due to previous changes to exterior). Forward information to [buildinginfo@wmk.govt.nz](mailto:buildinginfo@wmk.govt.nz) or submit via the Sharefile portal.

Guidance on the process can be found at

<https://www.waimakariri.govt.nz/council/documents-bylaws-plans/fact-sheets>

Application form can be downloaded from <https://www.waimakariri.govt.nz/consents-and-licences/forms-a-to-z/>.

**-Note:** Minor variation previously requested to include stair details, noted on plans to be installed in the future & are now in place.

To include handrail to stairs details and required barrier to attic floor details.

Attic area now constructed as 2 separate rooms/spaces, include floor plan & smoke alarm details/locations

Skylight added to attic not shown on consented plans elevation 3 sheet 7 (elevation is also missing the garage window shown on the brace plan grid line E )

Update elevations for consent records to show the garage window removed on grid line D

ADDITIONAL ITEMS (as applicable)	N/A
Additional PASSED Items	N/A
Additional PASSED with Site Instructions (Directives to Complete)	N/A
Additional PASS NC (Site Instructions) Requiring Review at Next Inspection	N/A
Additional FAILED Items	N/A
HARDCOPY (Refer Hardcopy inspection Sheet)	N/A





Taken at 10:21 AM on Wednesday 24/07/2024



Taken at 10:21 AM on Wednesday 24/07/2024



**GARAGE DIAPHRAGM NO PENETRATIONS AT TIME OF INSPECTION ONLY CABLES**  
Taken at 10:22 AM on Wednesday 24/07/2024



**SHEETRS JOINED ON BLOCKING**  
Taken at 10:23 AM on Wednesday 24/07/2024

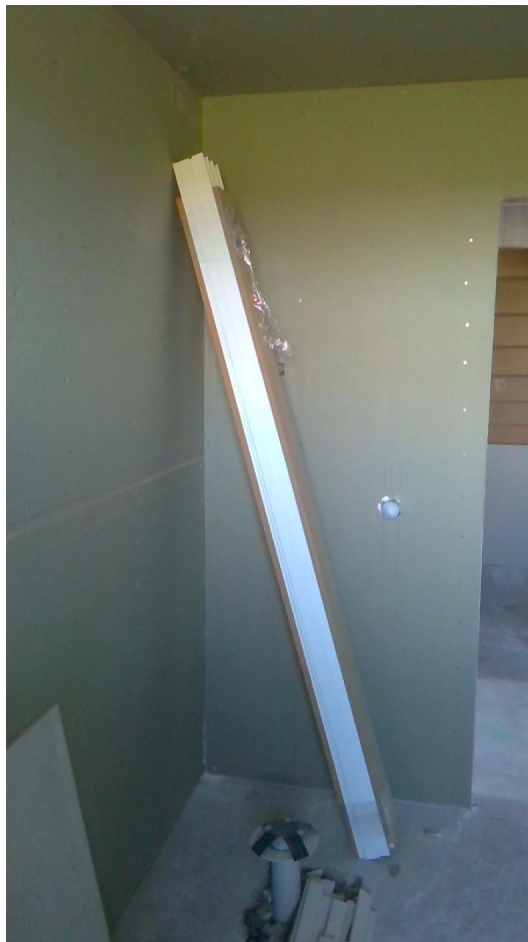


**Garage gs1 installed on either side of the power board**  
Taken at 10:23 AM on Wednesday 24/07/2024



**garage grid line C GS1 full wall length - no window installed**  
Taken at 10:26 AM on Wednesday 24/07/2024





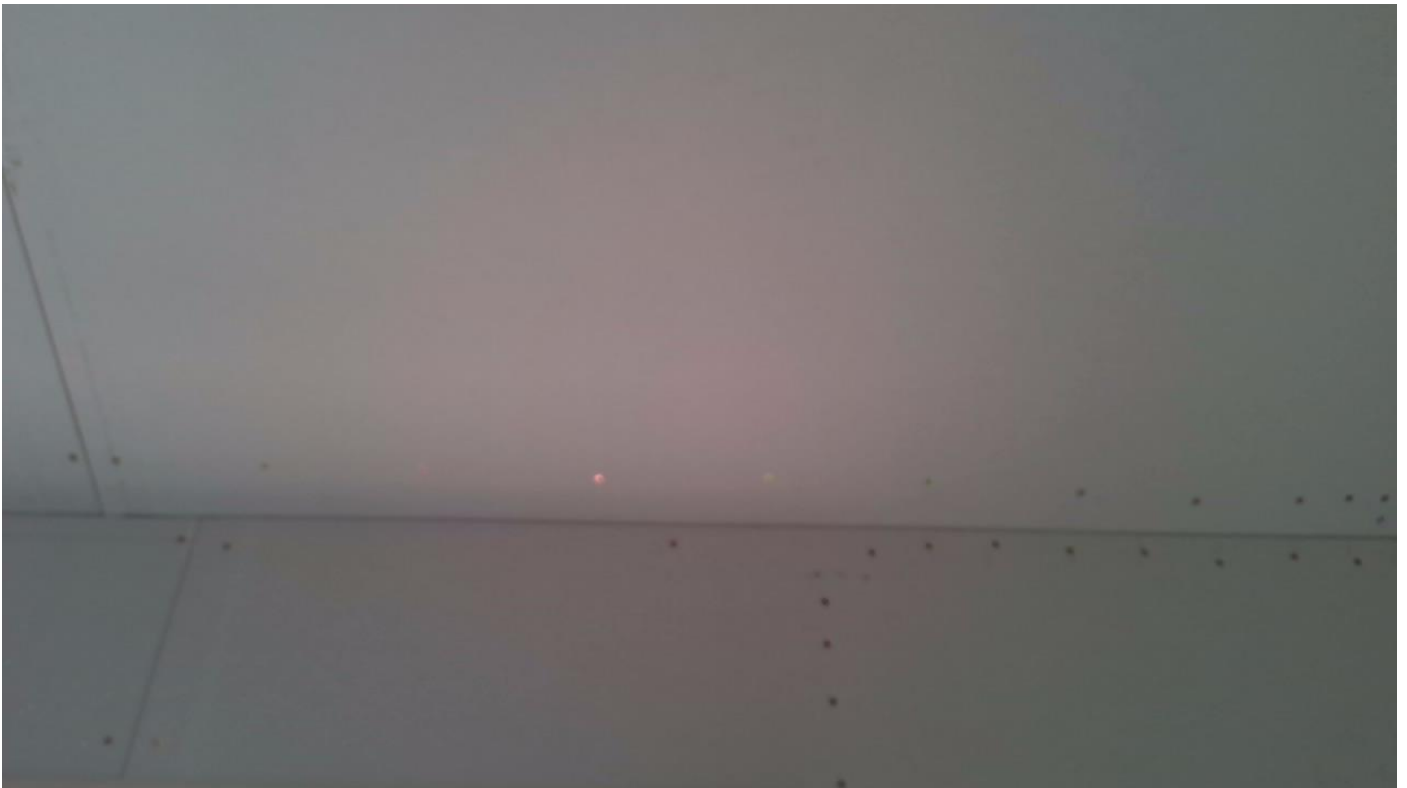
**HATHROOM TILED SHOWER WALLS**  
Taken at 10:26 AM on Wednesday 24/07/2024



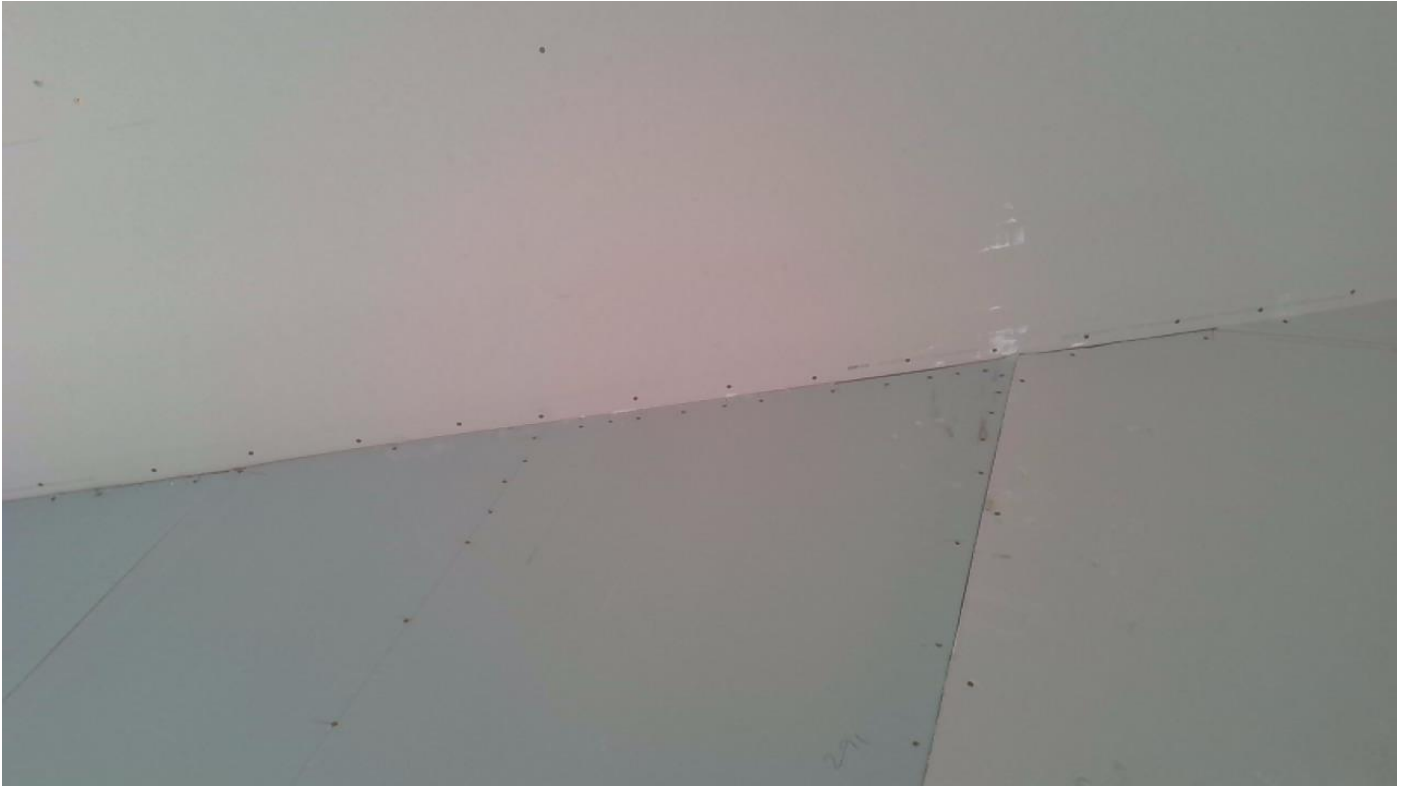
**No nogs behind bathroom tiled shower side wall sheet joints**  
Taken at 10:27 AM on Wednesday 24/07/2024



**Ensuite tiled shower, no nogs behind the horizontal sheet joints**  
Taken at 10:30 AM on Wednesday 24/07/2024



**Diaphragm ceiling to dining/kitchen area perimeter screw pattern for diaphragm over 7.5m long to be reduced from 150mm centres to 100mm centres**  
Taken at 10:35 AM on Wednesday 24/07/2024



**screw spacing to be reduced from 150mm centres to 100mm centres**  
Taken at 10:37 AM on Wednesday 24/07/2024



**Spacing to be reduced from 150mm centres to 100mm centres**  
Taken at 10:38 AM on Wednesday 24/07/2024





**stairs already in shown to be later**  
Taken at 10:39 AM on Wednesday 24/07/2024



**attic space broken into 2 rooms**  
Taken at 10:40 AM on Wednesday 24/07/2024



**barrier and handrail details required**  
Taken at 10:40 AM on Wednesday 24/07/2024

## SITE INSPECTION NOTICE

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**  
Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**  
Email To: **barry@dimensionshopfitters.co.nz,mark@masterfoundations.co.nz,shane@surebuilding.co.nz**

Enquiries about this inspection may be directed to the inspector listed on this notice, or via the contact details listed in the header.

**Please email any requested documentation and records of work to buildinginfo@wmk.govt.nz using BC230501 in the subject line.**

Inspection Type: **Preline & Plumbing**  
Inspection Outcome: **Pass**  
Inspected By: **John Thornton - 021 543 919**  
Inspection Date: **24 July 2024**

### Passed Items

Inspection Items

Amendment Required

**PREVIOUS INSTRUCTION CARRIED FORWARD WITH  
ADDITIONAL NOTES**

Inspection Type: **Pre-Stopping**  
Inspection Outcome: **Fail**  
Inspected By: **John Thornton - 021 543 919**  
Inspection Date: **24 July 2024**

### Passed Items

General Items

Building, Multi-unit, Lot or Tenancy  
Approved Building Consent on site

Inspection Items

Wall linings	<b>10mm Gib</b>
Bracing	<b>Brace panels in place</b>
Wet area water resistant linings	<b>Aqualine to walls and ceilings</b>
Metal angle in place to internal corners of tiled shower	<b>See the preline inspection notice</b>
Diaphragm ceiling penetrations	<b>Only cables at time of prestop inspection.</b>
Manhole access openings	<b>Access stairs to attic now in place</b>
	<b>*SEE BELOW</b>
Ceiling linings and battens	<b>13mm linings</b>

### Passed - With Conditions

Inspection Items

**BC230501**

**KEEP ON SITE FOR RECHECK**

Page 1 of 3



**-MINOR VARIATION REQUIRED (Via Office) -**  
Download and complete an "Application for a Minor Variation" and submit the form along with relevant supporting information to the WDC Building Unit for additional stairs having been added to '1st floor room' area and removal of garage window as consideration as a minor variation (revised elevations to be provided due to previous changes to exterior). Forward information to [buildinginfo@wmk.govt.nz](mailto:buildinginfo@wmk.govt.nz) or submit via the Sharefile portal.  
Guidance on the process can be found at <https://www.waimakariri.govt.nz/council/documents-bylaws-plans/fact-sheets>  
Application form can be downloaded from <https://www.waimakariri.govt.nz/consents-and-licences/forms-a-to-z/>.

**-Note:** Minor variation previously requested to include stair details, noted on plans to be installed in the future & are now in place.  
To include handrail to stairs details and required barrier to attic floor details.  
Attic area now constructed as 2 separate rooms/spaces, include floor plan & smoke alarm details/locations  
Skylight added to attic not shown on consented plans elevation 3 sheet 7 (elevation is also missing the garage window shown on the brace plan grid line E )  
Update elevations for consent records to show the garage window removed on grid line D

## Failed Items

### Inspection Items

Tiled area fixings

Aqualine fixings within 150mm ctrs

\*No nogs installed behind the bathroom & ensuite tiled shower horizontal sheet joint locations as Gib Wet Area Systems 2021 manual (see detail on page 14 of manual) .  
To be rectified.

Diaphragm ceilings

Both diaphragm ceilings in place.

\*The Diaphragm ceiling to the dining/kitchen area perimeter screw pattern for diaphragm over 7.5m long to be reduced from 150mm centres to 100mm centres as Gib specifications.

## Documentation

## Status

As-Built Truss Design	Accepted
(Struct.) Engineer's site notes/reports (Specify) <b>-Structural connections and member sizes.</b>	Required
(Struct.) Engineer's ground bearing notes/report <b>And include scissor truss connections and member sizes.</b>	Required
(Clad.) H1 - Doors & Windows - Manufacturer's Statement of Thermal Performance	Required
(Serv.) Electrical certificate	Required
(Serv.) PS3 Plumbing (Pipework Pressure Test Certificate)	Required
(Serv.) Gas Certificate	Required
PS4 (Specify) (Engineer's supervision) <b>-Structural connections and member sizes PS4.</b>	Required

## **Licensed Building Practitioners**

Carpentry 1

Foundations 1

Cladding Installer 1

Roofing 1

## **Status**

Required

Required

Required

Required

## SITE INSPECTION AUDIT REPORT

---

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

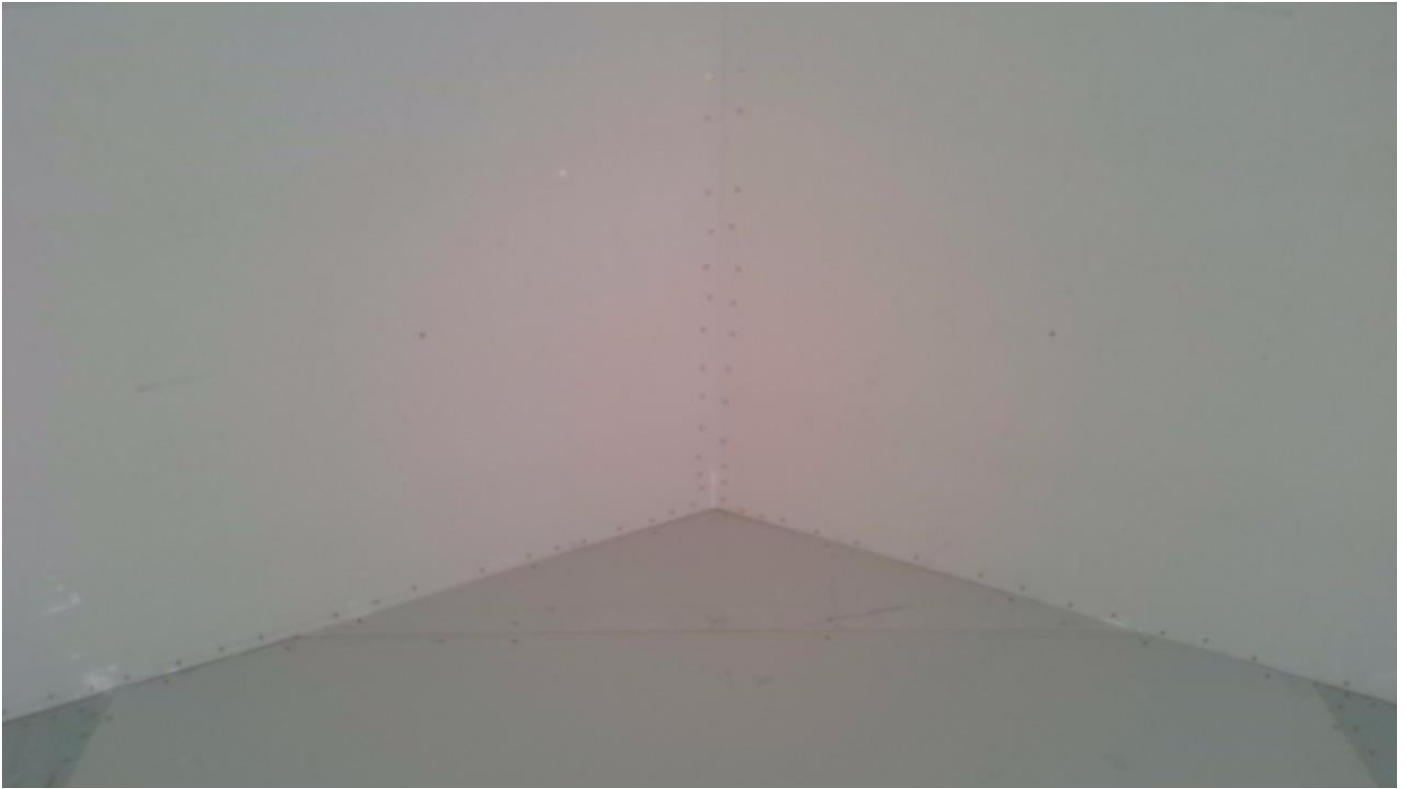
Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

---

Inspection Type: **Pre-Stopping**  
Inspection Outcome: **Pass Non Compliance**  
Inspected By: **Lee Bithray**  
Inspection Date: **25 July 2024 2:00 PM**  
Duration: **30 minutes**

Inspection Element	Status
Inspection Items	Pass Non Compliance
Tiled area fixings	Pass
<b>Aqualine fixings within 150mm ctrs</b>	
<b>*No nogs installed behind the bathroom &amp; ensuite tiled shower horizontal sheet joint locations as Gib Wet Area Systems 2021 manual (see detail on page 14 of manual) . To be rectified. 25/7/24 rectified</b>	
Diaphragm ceilings	Pass
<b>Both diaphragm ceilings in place.</b>	
<b>*The Diaphragm ceiling to the dining/kitchen area perimeter screw pattern for diaphragm over 7.5m long to be reduced from 150mm centres to 100mm centres as Gib specifications. 25/7/24 completed</b>	





Taken at 1:57 PM on Thursday 25/07/2024



Taken at 1:57 PM on Thursday 25/07/2024



Taken at 1:59 PM on Thursday 25/07/2024



Taken at 1:59 PM on Thursday 25/07/2024

## SITE INSPECTION NOTICE

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**  
Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**  
Email To: **barry@dimensionshopfitters.co.nz**

Enquiries about this inspection may be directed to the inspector listed on this notice, or via the contact details listed in the header.

**Please email any requested documentation and records of work to buildinginfo@wmk.govt.nz using BC230501 in the subject line.**

Inspection Type: **Pre-Stopping**  
Inspection Outcome: **Pass Non Compliance**  
Inspected By: **Lee Bithray - 027 434 5120**  
Inspection Date: **25 July 2024**

### Passed Items

#### Inspection Items

Tiled area fixings

**Aqualine fixings within 150mm ctrs**

**\*No nogs installed behind the bathroom & ensuite tiled shower horizontal sheet joint locations as Gib Wet Area Systems 2021 manual (see detail on page 14 of manual) .  
To be rectified.  
25/7/24 rectified**

Diaphragm ceilings

**Both diaphragm ceilings in place.**

**\*The Diaphragm ceiling to the dining/kitchen area perimeter screw pattern for diaphragm over 7.5m long to be reduced from 150mm centres to 100mm centres as Gib specifications.  
25/7/24 completed**

### Passed - With Conditions

#### Inspection Items

#### Documentation

#### Status

As-Built Truss Design	Accepted
(Struct.) Engineer's site notes/reports (Specify) <b>-Structural connections and member sizes.</b>	Required
(Struct.) Engineer's ground bearing notes/report <b>And include scissor truss connections and member sizes.</b>	Required
(Clad.) H1 - Doors & Windows - Manufacturer's Statement of Thermal Performance	Required
(Serv.) Electrical certificate	Required



(Serv.) PS3 Plumbing (Pipework Pressure Test Certificate)	Required
(Serv.) Gas Certificate	Required
PS4 (Specify) (Engineer's supervision)	Required
<b>-Structural connections and member sizes PS4.</b>	

---

<b>Licensed Building Practitioners</b>	<b>Status</b>
Carpentry 1	Required
Foundations 1	Required
Cladding Installer 1	Required
Roofing 1	Required

## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
 Applicant: **Walsh Carol Sheila**  
 Site Address: **71 Davis Road CUST**  
 Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
 Location within site:  
 Level Unit Number:  
 Building Category: **R02**

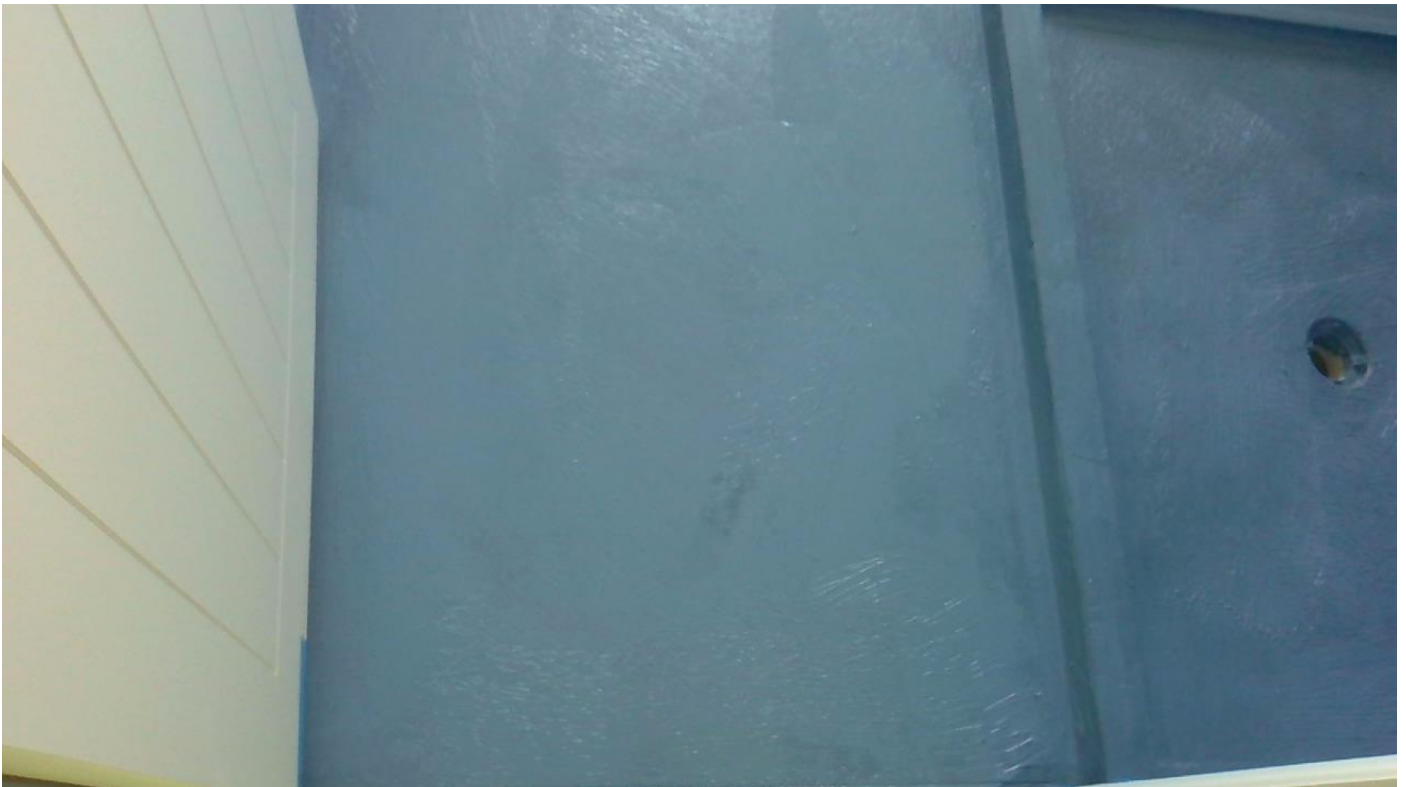
Inspection Type: **Wet Area Tanking**  
 Inspection Outcome: **Pass**  
 Inspected By: **Evan Connor**  
 Inspection Date: **3 September 2024 10:44 AM**  
 Duration: **45 minutes**

Inspection Element	Status
General Items	Pass
Building, Multi-unit, Lot or Tenancy	Pass
Health and Safety requirements <b>Standard WDC uniform. Hi-Vis shirt/jacket worn over where required. Standard safety footwear required and worn on site.</b>	N/A
Approved Building Consent on site	Pass
Previous site instructions	N/A
Inspection Items	Pass
Tanking membrane product <b>On site change from Wet Seal page 289 of the consent to Bonded Technology Water proof membrane</b>	Pass
<b>The change is accepted as both products comply with the Building Code and perform the function as a water barrier. The owner confirms the change is acceptable at the time of inspection</b>	
Coatings applied <b>2 coats applied</b>	Pass
Bandaging to internal/external corners <b>Bandaging in place to internal/external corners</b>	Pass
Slope to recess and floor <b>Slope achieved to recess and floor achieved</b>	Pass
Penetrations <b>Sealed</b>	Pass
Applicator accredited	Pass
BA2004 s.28 : Warnings and Bans - Methods and Products	N/A
Amendment Required <b>ON-SITE MINOR VARIATION - Change accepted as an on-site Minor Variation. On site change from Wet Seal page 289 of the consent to Barrier Bond from Bonded Technology Water proof membrane</b>	Pass
<b>The change is accepted as both products comply with the Building Code and perform the function as a water barrier. The owner confirms the change is acceptable at the time of inspection</b>	
ADDITIONAL ITEMS (as applicable)	N/A

**Documentation**  
 (W.A.T.) PS3 - Waterproofing membrane (Interior Wet Area Tanking) Required



Taken at 10:31 AM on Tuesday 3/09/2024



Taken at 10:31 AM on Tuesday 3/09/2024





Taken at 10:31 AM on Tuesday 3/09/2024



Taken at 10:32 AM on Tuesday 3/09/2024



Taken at 10:32 AM on Tuesday 3/09/2024



Taken at 10:32 AM on Tuesday 3/09/2024



Taken at 10:32 AM on Tuesday 3/09/2024



Taken at 10:33 AM on Tuesday 3/09/2024



## SITE INSPECTION NOTICE

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**  
Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**  
Email To: **barry@dimensionshopfitters.co.nz,mark@masterfoundations.co.nz,shane@surebuilding.co.nz**

Enquiries about this inspection may be directed to the inspector listed on this notice, or via the contact details listed in the header.

**Please email any requested documentation and records of work to buildinginfo@wmk.govt.nz using BC230501 in the subject line.**

Inspection Type: **Wet Area Tanking**  
Inspection Outcome: **Pass**  
Inspected By: **Evan Connor - 021 308 092**  
Inspection Date: **3 September 2024**

### Passed Items

#### General Items

Building, Multi-unit, Lot or Tenancy  
Approved Building Consent on site

#### Inspection Items

Tanking membrane product

**On site change from Wet Seal page 289 of the consent to Bonded Technology Water proof membrane**

**The change is accepted as both products comply with the Building Code and perform the function as a water barrier.**

**The owner confirms the change is acceptable at the time of inspection**

**2 coats applied**

**Bandaging in place to internal/external corners**

**Slope achieved to recess and floor achieved**

**Sealed**

Coatings applied

Bandaging to internal/external corners

Slope to recess and floor

Penetrations

Applicator accredited

Amendment Required

**ON-SITE MINOR VARIATION - Change accepted as an on-site Minor Variation.**

**On site change from Wet Seal page 289 of the consent to Barrier Bond from Bonded Technology Water proof membrane**

**The change is accepted as both products comply with the Building Code and perform the function as a water barrier.**

---

**Documentation****Status**

As-Built Truss Design	Accepted
(Struct.) Engineer's site notes/reports (Specify) <b>-Structural connections and member sizes.</b>	Required
(Struct.) Engineer's ground bearing notes/report <b>And include scissor truss connections and member sizes.</b>	Required
(Clad.) H1 - Doors & Windows - Manufacturer's Statement of Thermal Performance	Required
(W.A.T.) PS3 - Waterproofing membrane (Interior Wet Area Tanking)	Required
(Serv.) Electrical certificate	Required
(Serv.) PS3 Plumbing (Pipework Pressure Test Certificate)	Required
(Serv.) Gas Certificate	Required
PS4 (Specify) (Engineer's supervision) <b>-Structural connections and member sizes PS4.</b>	Required

---

**Licensed Building Practitioners****Status**

Carpentry 1	Required
Foundations 1	Required
Cladding Installer 1	Required
Roofing 1	Required

## SITE INSPECTION AUDIT REPORT

---

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM**  
**71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:

Location within site:

Level Unit Number:

Building Category: **R02**

---

Inspection Type: **Foundation Pre-Pour**

Inspection Outcome: **N/A**

Inspected By: **Jake Burns**

Inspection Date: **17 December 2024 10:24 AM**

Duration: **0 minutes**

Inspection Element	Status
General Items	N/A
<b>Completed under pre pour.</b>	
Inspection Items	N/A
ADDITIONAL ITEMS (as applicable)	N/A



## SITE INSPECTION AUDIT REPORT

---

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM**  
**71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

---

Inspection Type: **Post Holes**  
Inspection Outcome: **Pass**  
Inspected By: **Jake Burns**  
Inspection Date: **17 December 2024 10:24 AM**  
Duration: **0 minutes**

Inspection Element	Status
Inspection Items	Pass
Correct number of holes <b>12, see amendment requirement.</b>	Pass
Hole depth and diameter <b>600 x 600 x 600mm, with D12 reinforcement cage.</b>	Pass
Amendment Required <b>FORMAL AMENDMENT REQUIRED - Provide Amendment application for the proposed changes. Owner &amp; Designers approval are required.</b> <b>Forward the amendment including application form to <a href="mailto:buildinginfo@wmk.govt.nz">buildinginfo@wmk.govt.nz</a></b> <b>12 x post holes formed, not as plan.</b>	Pass
<b>Amendment provided</b>	
OK to Pour	Pass

## SITE INSPECTION AUDIT REPORT

---

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:

Location within site:

Level Unit Number:

Building Category: **R02**

---

Inspection Type: **Pre-Pour Slab**

Inspection Outcome: **N/A**

Inspected By: **Jake Burns**

Inspection Date: **17 December 2024 10:24 AM**

Duration: **0 minutes**

Inspection Element	Status
General Items	N/A
Inspection Items	N/A
ADDITIONAL ITEMS (as applicable)	N/A

## SITE INSPECTION AUDIT REPORT

---

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:

Location within site:

Level Unit Number:

Building Category: **R02**

---

Inspection Type: **Pre-Pour Slab - Garage**

Inspection Outcome: **N/A**

Inspected By: **Jake Burns**

Inspection Date: **17 December 2024 10:26 AM**

Duration: **0 minutes**

Inspection Element	Status
General Items	N/A
<b>Completed in one.</b>	
Inspection Items	N/A
ADDITIONAL ITEMS (as applicable)	N/A



## SITE INSPECTION AUDIT REPORT

---

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

---

Inspection Type: **Mid Height Cladding**  
Inspection Outcome: **Pass**  
Inspected By: **Jake Burns**  
Inspection Date: **17 December 2024 10:26 AM**  
Duration: **0 minutes**

Inspection Element	Status
Inspection Items	Pass
Head flashings	Pass
<b>Metal head flashings in place, taped to wrap</b>	
<b>*Stopends to be formed to garage</b>	
<b>Refer to final inspection</b>	

## SITE INSPECTION AUDIT REPORT

---

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM**  
**71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:

Location within site:

Level Unit Number:

Building Category: **R02**

---

Inspection Type: **Drains**

Inspection Outcome: **Pass**

Inspected By: **Jake Burns**

Inspection Date: **17 December 2024 10:27 AM**

Duration: **0 minutes**

### Inspection Element

### Status

Inspection Items

Pass

Storm-water, &/or sewer pipework in position and exposed

Pass

**Sewer laid in 100mm UPVC to Oasis septic tank**

**Stormwater laid in 90mm PVC and 100mm UPVC**

**\*Detention tank yet to be completed and garage stormwater drains**

**Now complete**

As-laid plan

Pass

**To be provided**

**See final**

## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

Inspection Type: **Effluent Field**  
Inspection Outcome: **Pass**  
Inspected By: **Jake Burns**  
Inspection Date: **17 December 2024 11:31 AM**  
Duration: **45 minutes**

Inspection Element	Status
General Items	N/A
Inspection Items	Pass
Drain-layers details and registration number <b>Peter Hanson</b>	Pass
Field location <b>Field to be located as per consent</b>	Pass
Type and size <b>500m2 drip lines</b>	Pass
Field protection <b>Timber post with 5x wires</b>	Pass
PS3 by installer	Pass
BA2004 s.28 : Warnings and Bans - Methods and Products	N/A
Amendment Required	N/A
ADDITIONAL ITEMS (as applicable)	N/A



## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM**  
**71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

Inspection Type: **Pre-Stopping**  
Inspection Outcome: **Pass**  
Inspected By: **Jake Burns**  
Inspection Date: **17 December 2024 10:28 AM**  
Duration: **0 minutes**

Inspection Element	Status
Inspection Items	Pass
Amendment Required	Pass
<b>-MINOR VARIATION REQUIRED (Via Office) - Download and complete an "Application for a Minor Variation" and submit the form along with relevant supporting information to the WDC Building Unit for additional stairs having been added to '1st floor room' area and removal of garage window as consideration as a minor variation (revised elevations to be provided due to previous changes to exterior). Forward information to <a href="mailto:buildinginfo@wmk.govt.nz">buildinginfo@wmk.govt.nz</a> or submit via the Sharefile portal.</b>	
<b>Guidance on the process can be found at <a href="https://www.waimakariri.govt.nz/council/documents-bylaws-plans/fact-sheets">https://www.waimakariri.govt.nz/council/documents-bylaws-plans/fact-sheets</a></b>	
<b>Application form can be downloaded from <a href="https://www.waimakariri.govt.nz/consents-and-licences/forms-a-to-z/">https://www.waimakariri.govt.nz/consents-and-licences/forms-a-to-z/</a>.</b>	
<b>-Note: Minor variation previously requested to include stair details, noted on plans to be installed in the future &amp; are now in place.</b>	
<b>To include handrail to stairs details and required barrier to attic floor details.</b>	
<b>Attic area now constructed as 2 separate rooms/spaces, include floor plan &amp; smoke alarm details/locations</b>	
<b>Skylight added to attic not shown on consented plans elevation 3 sheet 7 (elevation is also missing the garage window shown on the brace plan grid line E )</b>	
<b>Update elevations for consent records to show the garage window removed on grid line D</b>	
<b>Yet to be provided</b>	

## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
 Applicant: **Walsh Carol Sheila**  
 Site Address: **71 Davis Road CUST**  
 Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
 Location within site:  
 Level Unit Number:  
 Building Category: **R02**

Inspection Type: **Final**  
 Inspection Outcome: **Fail**  
 Inspected By: **Jake Burns**  
 Inspection Date: **17 December 2024 11:27 AM**  
 Duration: **60 minutes**

Inspection Element	Status
NOTE ONLY - HOW TO APPLY FOR CODE COMPLIANCE	NoStatus
Notes to Owner / Applicant / Agent	NoStatus
<b>A Building Consent is not completed until it has been issued with a Code Compliance Certificate after a passed Final inspection. The owner or their agent is required to complete a separate application for the Code Compliance Certificate (Form 6) as soon as possible after the building work is completed. The application form to apply can be downloaded via the link below or call 03 311 8906 for further information.</b> <b><a href="https://www.waimakariri.govt.nz/building-services/building-services/building-consents/related-content/building-application-forms-and-fact-sheets">https://www.waimakariri.govt.nz/building-services/building-services/building-consents/related-content/building-application-forms-and-fact-sheets</a></b>	
General Items	Pass
Building, Multi-unit, Lot or Tenancy	Pass
<b>Lot 1</b>	
Health and Safety requirements	N/A
<b>Standard WDC uniform. Hi-Vis shirt/jacket worn where required. Standard safety footwear worn on site.</b>	
Approved Building Consent on site	Pass
<b>Approved building consent documentation including plans and specifications are onsite and reviewed at time of inspection.</b>	
Previous site instructions	N/A
Inspection Items	Fail
Finished ground level and clearances to cladding	Pass
<b>Finished ground level and clearances to cladding correct.</b>	
Paved area levels/falls and storm water control	Pass
<b>Paved areas have been constructed to force water to run away from dwelling but contain water from entering neighboring properties. Compliant with E1</b>	
Gully traps	Fail
<b>Gully to be raised 75mm above unpaved areas.</b>	
Storm water disposal	Pass
<b>To detention tanks with overflow to swale</b>	
Soffit/windows/doors sealed	Pass
<b>Soffit/windows/doors sealed</b>	
Drain ventilation	Fail
<b>Open branch vent required</b>	
Cladding/soffits	Pass
<b>Cladding/soffits painted</b>	
Ventilation/weep holes	Pass
Drainage venting to sewer and WC fixture	Fail

Snow straps	Pass
<b>Snow straps in place</b>	
Vermin proofing	Fail
<b>100mm pipe southern elevation to be capped</b>	
Garage door reveals and cladding junctions	Fail
<b>Clearance from garage jamb to concrete required</b>	
Step down to door openings	Pass
<b>Main entrance of the dwelling is maximum 190mm therefore compliant with D1 AS1</b>	
Stair treads and risers correct with anti-slip resistance	Pass
<b>Stair treads and risers correct with anti-slip resistance</b>	
Hand rail dimension and height	Fail
<b>Hand rail required to stairs to attic</b>	
Hand rail brackets	N/A
Balcony hand rail barrier and overflow drain	N/A
Water isolation valve location	Pass
<b>Garage wall</b>	
Hot water cylinder relief drain	Pass
<b>To own soak hole</b>	
Hot water cylinder valving	Pass
<b>Hot water cylinder valving correct</b>	
Hot water cylinder temperature	Fail
<b>Water temp 58°</b>	
HWC seismic restraints	Pass
<b>HWC seismic restraints in place</b>	
Safe tray in place	Pass
Smoke alarms	Pass
<b>Smoke alarms have been installed within 3m of all bedrooms to comply with F7.</b>	
Window identification stickers, safety glass labels and opening restrictors	Pass
<b>Window identification stickers in place and safety glass labels in place.</b>	
Shower leak test	Pass
<b>Shower leak test completed</b>	
Gas hob shield	Pass
<b>Tiled splash back</b>	
Ventilation provided to all wet areas	Pass
<b>All ventilation to wet area and cooking rooms have sufficient ventilation through ducted system terminating to soffit.</b>	
<b>Compliance with G4.3.3 has been met.</b>	
Fixtures sealed to walls	Fail
<b>Toe space in kitchen to be sealed</b>	
Plumbing fixtures	Pass
<b>Plumbing fixtures installed</b>	
Insulation	Pass
<b>Insulation in place correctly installed around ducting and clear of roofing underlay</b>	
Mechanical vents	Pass
Vertical insulation in roof space	N/A
Gas Cylinders	Pass
<b>Siting, Restraint &amp; Weather Protection, Capacity &amp; Ventilation as per consented documents and NZS 5261.</b>	
Effluent Field Fencing/Protection	Pass
<b>In place</b>	
On-site maneuvering	Pass
BA2004 s.28 : Warnings and Bans - Methods and Products	N/A
Amendment Required	Fail
<b>-MINOR VARIATION REQUIRED (Via Office) - Download and complete an "Application for a Minor Variation" and submit the form along with relevant supporting information to the WDC Building Unit for additional stairs having been added to '1st floor room' area and</b>	

removal of garage window as consideration as a minor variation (revised elevations to be provided due to previous changes to exterior). Forward information to [buildinginfo@wmk.govt.nz](mailto:buildinginfo@wmk.govt.nz) or submit via the Sharefile portal.

Guidance on the process can be found at

<https://www.waimakariri.govt.nz/council/documents-bylaws-plans/fact-sheets>

Application form can be downloaded from <https://www.waimakariri.govt.nz/consents-and-licences/forms-a-to-z/>.

**-Note:** Minor variation previously requested to include stair details, noted on plans to be installed in the future & are now in place.

To include handrail to stairs details and required barrier to attic floor details.

Attic area now constructed as 2 separate rooms/spaces, include floor plan & smoke alarm details/locations

Skylight added to attic not shown on consented plans elevation 3 sheet 7 (elevation is also missing the garage window shown on the brace plan grid line E )

Update elevations for consent records to show the garage window removed on grid line D

- Change in wood burner from consented Xtreme Rad to Hurunui Ash - Once granted a solid dual heater inspection will be required.

**Note on re inspection more non compliance may be found**

Sheds/Garages (Sheds/Garages only Final)	N/A
Solar Final (Solar Only final)	N/A
ADDITIONAL ITEMS (as applicable)	N/A





Taken at 10:36 AM on Tuesday 17/12/2024



Taken at 10:36 AM on Tuesday 17/12/2024



Taken at 10:36 AM on Tuesday 17/12/2024



Taken at 10:37 AM on Tuesday 17/12/2024



Taken at 10:37 AM on Tuesday 17/12/2024



**Addition of window to garage**

Taken at 10:37 AM on Tuesday 17/12/2024





Taken at 10:38 AM on Tuesday 17/12/2024



Taken at 10:39 AM on Tuesday 17/12/2024





Taken at 10:39 AM on Tuesday 17/12/2024



Taken at 10:39 AM on Tuesday 17/12/2024



Taken at 10:40 AM on Tuesday 17/12/2024



**Addition of sky light**

Taken at 10:41 AM on Tuesday 17/12/2024





Taken at 10:41 AM on Tuesday 17/12/2024



Taken at 10:42 AM on Tuesday 17/12/2024



Taken at 10:42 AM on Tuesday 17/12/2024



Taken at 10:42 AM on Tuesday 17/12/2024





Taken at 10:43 AM on Tuesday 17/12/2024



Taken at 10:43 AM on Tuesday 17/12/2024



Taken at 10:43 AM on Tuesday 17/12/2024



Taken at 10:43 AM on Tuesday 17/12/2024





Taken at 10:44 AM on Tuesday 17/12/2024



Taken at 10:45 AM on Tuesday 17/12/2024





Taken at 10:45 AM on Tuesday 17/12/2024



Taken at 10:46 AM on Tuesday 17/12/2024





Taken at 10:46 AM on Tuesday 17/12/2024



Taken at 10:50 AM on Tuesday 17/12/2024



Taken at 10:50 AM on Tuesday 17/12/2024



Taken at 10:50 AM on Tuesday 17/12/2024



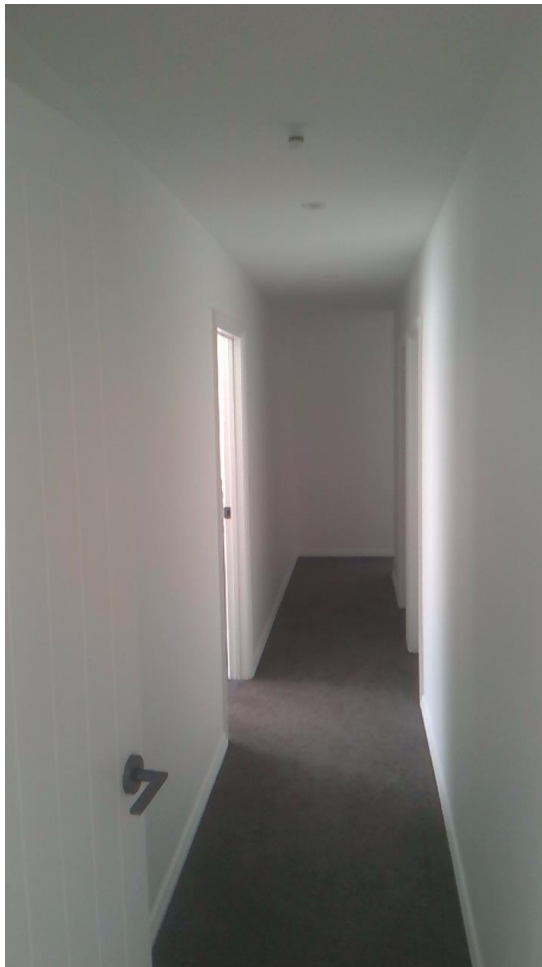
Taken at 10:51 AM on Tuesday 17/12/2024



Taken at 10:51 AM on Tuesday 17/12/2024

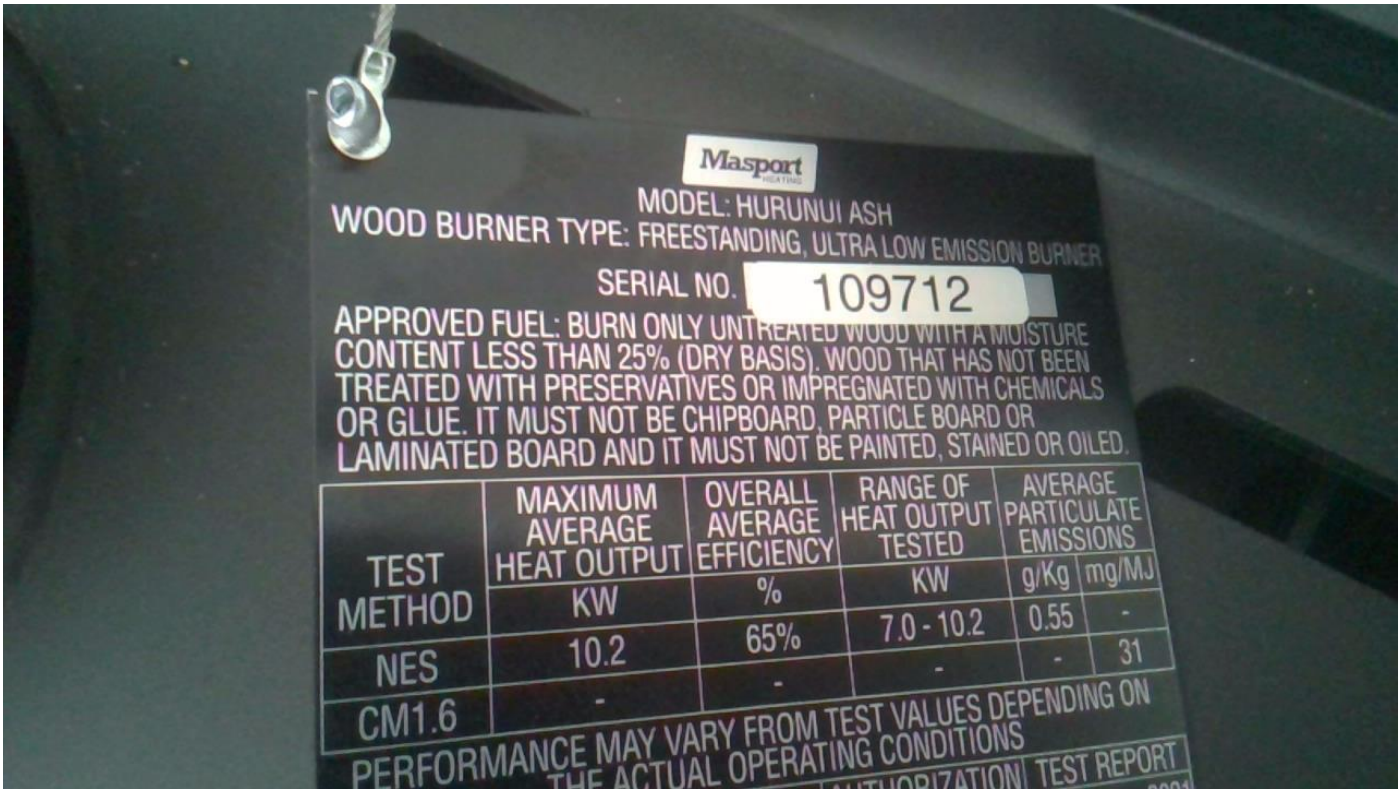


Taken at 10:51 AM on Tuesday 17/12/2024



Taken at 10:51 AM on Tuesday 17/12/2024





Taken at 10:52 AM on Tuesday 17/12/2024



Consented fire

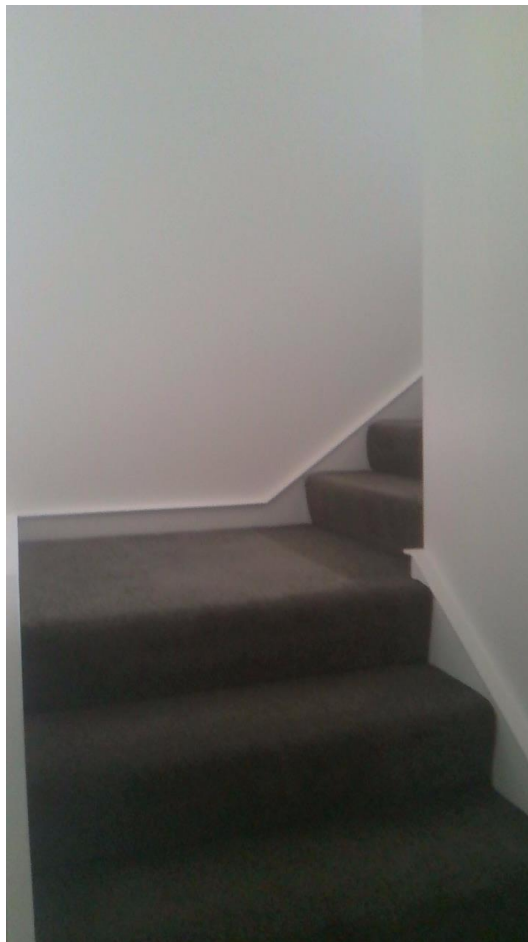
Taken at 10:54 AM on Tuesday 17/12/2024



Taken at 10:55 AM on Tuesday 17/12/2024

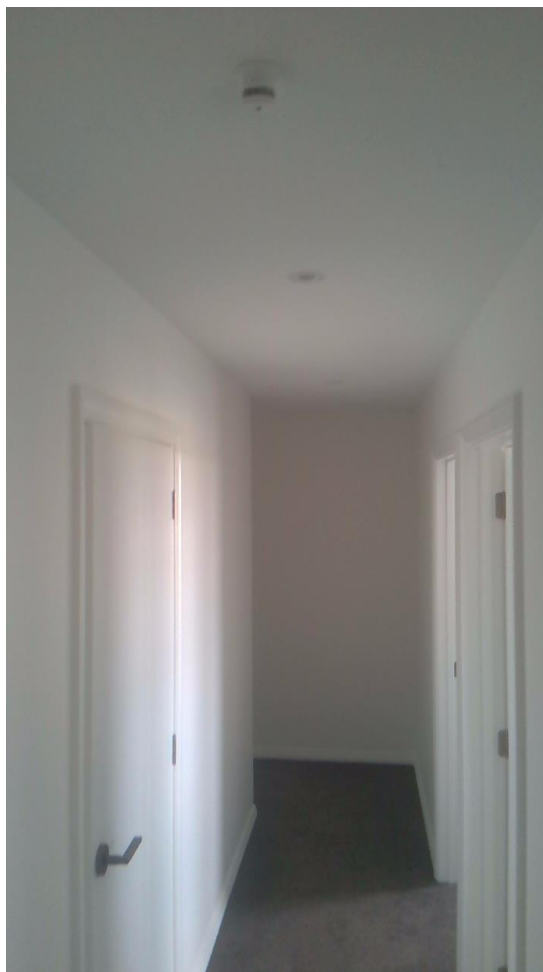


Taken at 10:57 AM on Tuesday 17/12/2024



**Handrail required**

Taken at 10:58 AM on Tuesday 17/12/2024



Taken at 10:59 AM on Tuesday 17/12/2024





Taken at 10:59 AM on Tuesday 17/12/2024



Taken at 10:59 AM on Tuesday 17/12/2024





Taken at 10:59 AM on Tuesday 17/12/2024



Taken at 11:00 AM on Tuesday 17/12/2024



Taken at 11:00 AM on Tuesday 17/12/2024



Taken at 11:01 AM on Tuesday 17/12/2024



Taken at 11:01 AM on Tuesday 17/12/2024



**Safety glass to shower**

Taken at 11:01 AM on Tuesday 17/12/2024



**Water temp 58°**  
Taken at 11:02 AM on Tuesday 17/12/2024



Taken at 11:03 AM on Tuesday 17/12/2024





**Safety glass above bath**  
Taken at 11:03 AM on Tuesday 17/12/2024

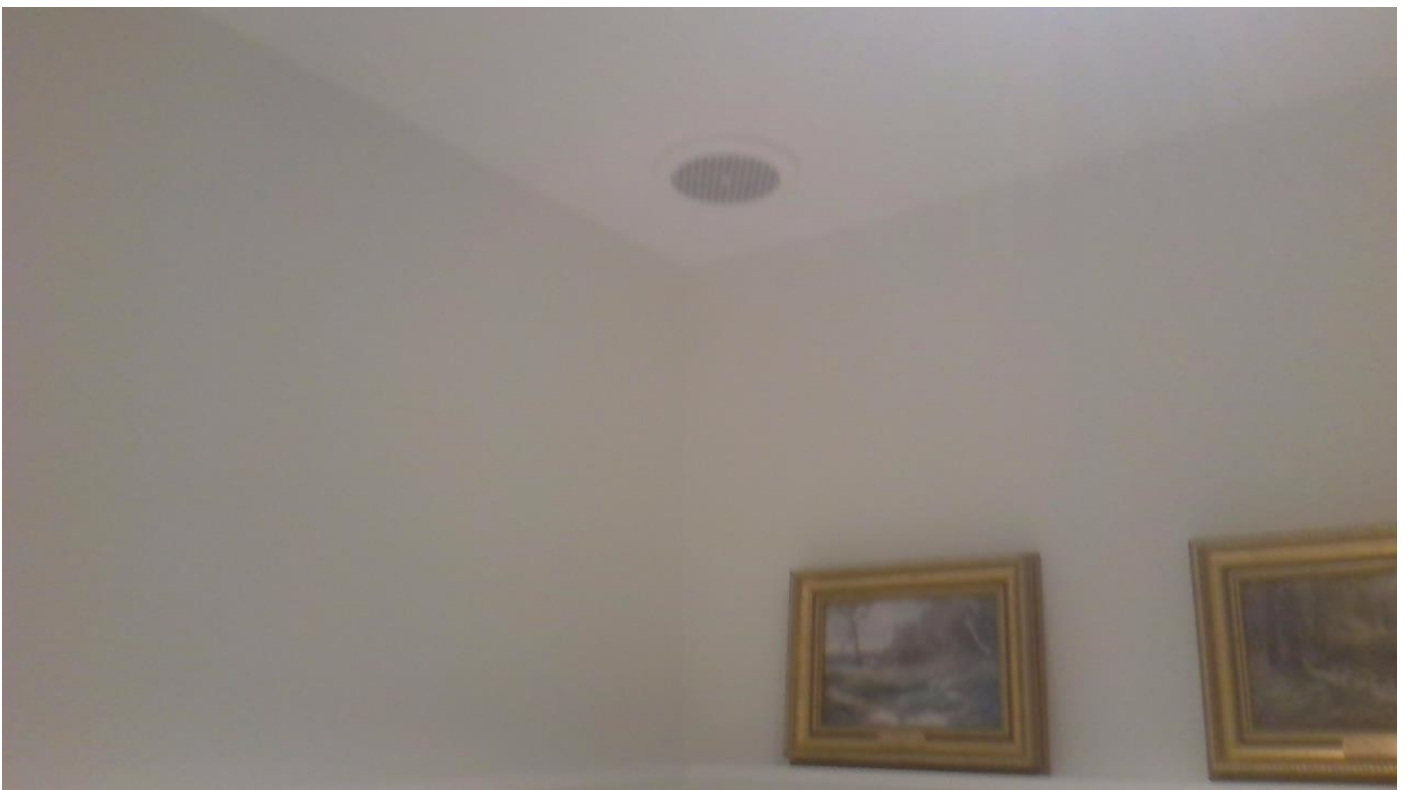


Taken at 11:03 AM on Tuesday 17/12/2024



**Internal WC**

Taken at 11:04 AM on Tuesday 17/12/2024



Taken at 11:04 AM on Tuesday 17/12/2024



Taken at 11:04 AM on Tuesday 17/12/2024



**Ensuite**

Taken at 11:04 AM on Tuesday 17/12/2024



Taken at 11:05 AM on Tuesday 17/12/2024



Taken at 11:05 AM on Tuesday 17/12/2024





Taken at 11:05 AM on Tuesday 17/12/2024



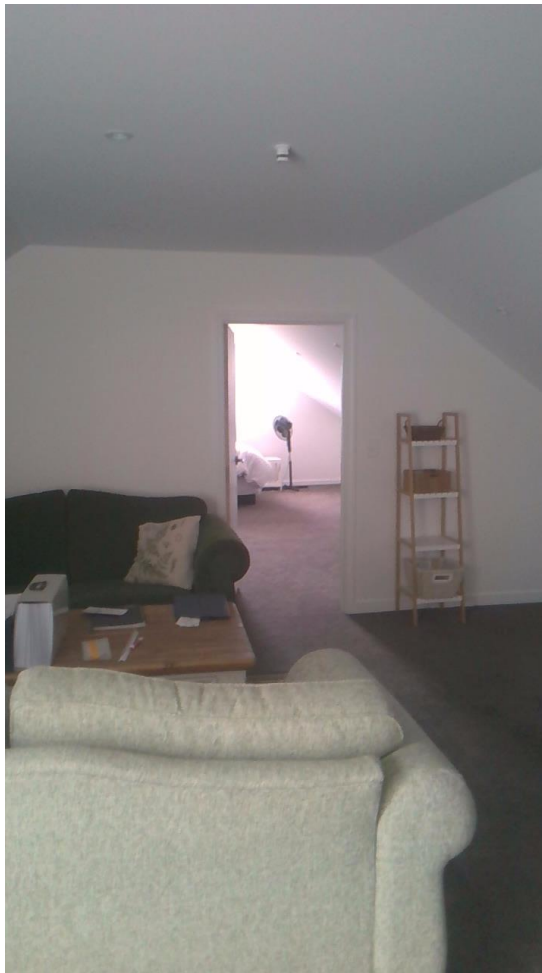
Taken at 11:05 AM on Tuesday 17/12/2024



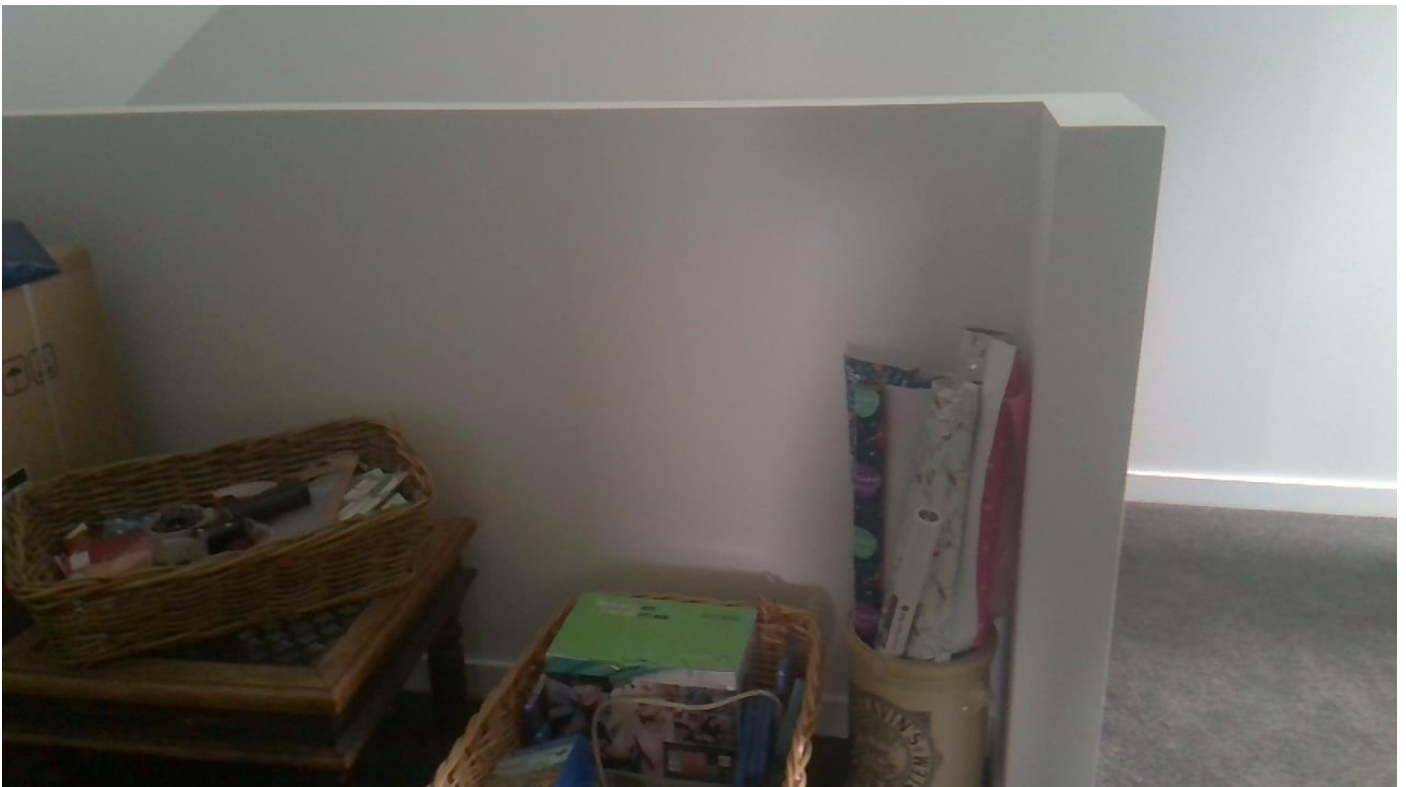
Taken at 11:06 AM on Tuesday 17/12/2024



Taken at 11:08 AM on Tuesday 17/12/2024

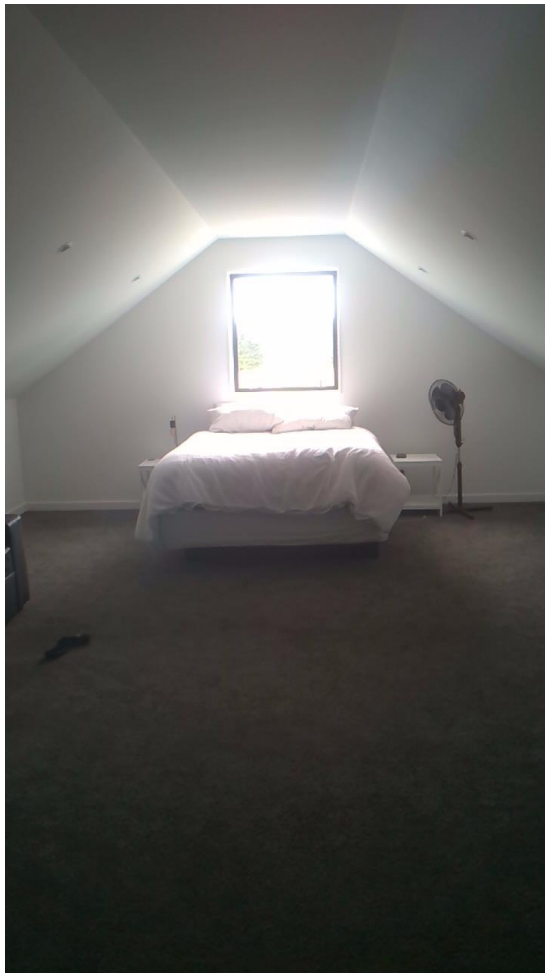


Taken at 11:08 AM on Tuesday 17/12/2024



**1100mm balustrade**

Taken at 11:09 AM on Tuesday 17/12/2024



Taken at 11:09 AM on Tuesday 17/12/2024



**Window stays required attic/bedroom**  
Taken at 11:10 AM on Tuesday 17/12/2024





**Smoke alarm**  
Taken at 11:10 AM on Tuesday 17/12/2024



Taken at 11:18 AM on Tuesday 17/12/2024



Taken at 11:18 AM on Tuesday 17/12/2024

## SITE INSPECTION AUDIT REPORT

---

Consent No: **BC230501.03**  
Applicant: **Walsh Carol Sheila**  
Site Address:  
Work Type: **MINOR VARIATION Change of Verandah foundation to post footings 71 DAVIS ROAD  
CUST LOT 1 DP 570321**  
Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

---

Inspection Type: **Post Holes**  
Inspection Outcome: **Pass**  
Inspected By: **Jake Burns**  
Inspection Date: **17 December 2024 1:12 PM**  
Duration: **15 minutes**

Inspection Element	Status
General Items	N/A
<b>Completed under parent consent</b>	
Inspection Items	N/A
ADDITIONAL ITEMS (as applicable)	Pass
Additional PASSED Items	Pass
Additional PASSED with Site Instructions (Directives to Complete)	N/A
Additional PASS NC (Site Instructions) Requiring Review at Next Inspection	N/A
Additional FAILED Items	N/A
HARDCOPY (Refer Hardcopy inspection Sheet)	N/A

**SITE INSPECTION NOTICE**

---

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM**  
**71 DAVIS ROAD CUST LOT 1 DP 570321**  
Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**  
Email To: **barry@dimensionshopfitters.co.nz**

---

Enquiries about this inspection may be directed to the inspector listed on this notice, or via the contact details listed in the header.

**Please email any requested documentation and records of work to buildinginfo@wmk.govt.nz using BC230501 in the subject line.**

---

Inspection Type: **Foundation Pre-Pour**  
Inspection Outcome: **N/A**  
Inspected By: **Jake Burns - 027 223 5428**  
Inspection Date: **17 December 2024**

---

Inspection Type: **Post Holes**  
Inspection Outcome: **Pass**  
Inspected By: **Jake Burns - 027 223 5428**  
Inspection Date: **17 December 2024**

---

**Passed Items****Inspection Items**

Correct number of holes  
Hole depth and diameter  
Amendment Required

**12, see amendment requirement.**

**600 x 600 x 600mm, with D12 reinforcement cage.**

**FORMAL AMENDMENT REQUIRED - Provide  
Amendment application for the proposed changes.  
Owner & Designers approval are required.  
Forward the amendment including application form to  
buildinginfo@wmk.govt.nz  
12 x post holes formed, not as plan.**

**Amendment provided**

OK to Pour

---

Inspection Type: **Pre-Pour Slab - Garage**  
Inspection Outcome: **N/A**  
Inspected By: **Jake Burns - 027 223 5428**  
Inspection Date: **17 December 2024**

---

Inspection Type: **Mid Height Cladding**  
Inspection Outcome: **Pass**  
Inspected By: **Jake Burns - 027 223 5428**

---



Inspection Date: 17 December 2024

## Passed Items

### Inspection Items

Head flashings

Metal head flashings in place, taped to wrap

\*Stopends to be formed to garage

Refer to final inspection

---

Inspection Type: Drains

Inspection Outcome: Pass

Inspected By: Jake Burns - 027 223 5428

Inspection Date: 17 December 2024

## Passed Items

### Inspection Items

Storm-water, &/or sewer pipework in position and exposed

Sewer laid in 100mm UPVC to Oasis septic tank  
Stormwater laid in 90mm PVC and 100mm UPVC

\*Detention tank yet to be completed and garage stormwater drains

As-laid plan

Now complete

To be provided

See final

---

Inspection Type: Effluent Field

Inspection Outcome: Pass

Inspected By: Jake Burns - 027 223 5428

Inspection Date: 17 December 2024

## Passed Items

### Inspection Items

Drain-layers details and registration number

Peter Hanson

Field location

Field to be located as per consent

Type and size

500m2 drip lines

Field protection

Timber post with 5x wires

PS3 by installer

---

Inspection Type: Pre-Stopping

Inspection Outcome: Pass

Inspected By: Jake Burns - 027 223 5428

Inspection Date: 17 December 2024

## Passed Items

### Inspection Items

Amendment Required

-MINOR VARIATION REQUIRED (Via Office) -  
Download and complete an "Application for a Minor Variation" and submit the form along with relevant supporting information to the WDC Building Unit for additional stairs having been added to '1st floor room' area and removal of garage window as consideration as a minor variation (revised elevations to be provided due to previous changes to exterior). Forward

information to [buildinginfo@wmk.govt.nz](mailto:buildinginfo@wmk.govt.nz) or submit via the Sharefile portal.  
Guidance on the process can be found at <https://www.waimakariri.govt.nz/council/documents-bylaws-plans/fact-sheets>  
Application form can be downloaded from <https://www.waimakariri.govt.nz/consents-and-licences/forms-a-to-z/>.

-Note: Minor variation previously requested to include stair details, noted on plans to be installed in the future & are now in place.  
To include handrail to stairs details and required barrier to attic floor details.  
Attic area now constructed as 2 separate rooms/spaces, include floor plan & smoke alarm details/locations  
Skylight added to attic not shown on consented plans elevation 3 sheet 7 (elevation is also missing the garage window shown on the brace plan grid line E )  
Update elevations for consent records to show the garage window removed on grid line D

Yet to be provided

---

Inspection Type: **Final**  
Inspection Outcome: **Fail**  
Inspected By: **Jake Burns - 027 223 5428**  
Inspection Date: **17 December 2024**

### Passed Items

NOTE ONLY - HOW TO APPLY FOR CODE COMPLIANCE

Notes to Owner / Applicant / Agent

A Building Consent is not completed until it has been issued with a Code Compliance Certificate after a passed Final inspection. The owner or their agent is required to complete a separate application for the Code Compliance Certificate (Form 6) as soon as possible after the building work is completed. The application form to apply can be downloaded via the link below or call 03 311 8906 for further information.  
<https://www.waimakariri.govt.nz/building-services/building-services/building-consents/related-content/building-application-forms-and-fact-sheets>

### General Items

Building, Multi-unit, Lot or Tenancy  
Approved Building Consent on site

### Lot 1

Approved building consent documentation including plans and specifications are onsite and reviewed at time of inspection.

### Inspection Items

Finished ground level and clearances to cladding  
  
Paved area levels/falls and storm water control  
  
Storm water disposal  
Soffit/windows/doors sealed  
Cladding/soffits  
Ventilation/weep holes

Finished ground level and clearances to cladding correct.  
  
Paved areas have been constructed to force water to run away from dwelling but contain water from entering neighboring properties. Compliant with E1  
To detention tanks with overflow to swale  
Soffit/windows/doors sealed  
Cladding/soffits painted

Snow straps	<b>Snow straps in place</b>
Step down to door openings	<b>Main entrance of the dwelling is maximum 190mm therefore compliant with D1 AS1</b>
Stair treads and risers correct with anti-slip resistance	<b>Stair treads and risers correct with anti-slip resistance</b>
Water isolation valve location	<b>Garage wall</b>
Hot water cylinder relief drain	<b>To own soak hole</b>
Hot water cylinder valving	<b>Hot water cylinder valving correct</b>
HWC seismic restraints	<b>HWC seismic restraints in place</b>
Safe tray in place	
Smoke alarms	<b>Smoke alarms have been installed within 3m of all bedrooms to comply with F7.</b>
Window identification stickers, safety glass labels and opening restrictors	<b>Window identification stickers in place and safety glass labels in place.</b>
Shower leak test	<b>Shower leak test completed</b>
Gas hob shield	<b>Tiled splash back</b>
Ventilation provided to all wet areas	<b>All ventilation to wet area and cooking rooms have sufficient ventilation through ducted system terminating to soffit. Compliance with G4.3.3 has been met.</b>
Plumbing fixtures	<b>Plumbing fixtures installed</b>
Insulation	<b>Insulation in place correctly installed around ducting and clear of roofing underlay</b>
Mechanical vents	
Gas Cylinders	<b>Siting, Restraint &amp; Weather Protection, Capacity &amp; Ventilation as per consented documents and NZS 5261.</b>
Effluent Field Fencing/Protection	<b>In place</b>
On-site maneuvering	

## Failed Items

### Inspection Items

Gully traps	<b>Gully to be raised 75mm above unpaved areas.</b>
Drain ventilation	<b>Open branch vent required</b>
Drainage venting to sewer and WC fixture	
Vermin proofing	<b>100mm pipe southern elevation to be capped</b>
Garage door reveals and cladding junctions	<b>Clearance from garage jamb to concrete required</b>
Hand rail dimension and height	<b>Hand rail required to stairs to attic</b>
Hot water cylinder temperature	<b>Water temp 58°</b>
Fixtures sealed to walls	<b>Toe space in kitchen to be sealed</b>
Amendment Required	<b>-MINOR VARIATION REQUIRED (Via Office) - Download and complete an "Application for a Minor Variation" and submit the form along with relevant supporting information to the WDC Building Unit for additional stairs having been added to '1st floor room' area and removal of garage window as consideration as a minor variation (revised elevations to be provided due to previous changes to exterior). Forward information to <a href="mailto:buildinginfo@wmk.govt.nz">buildinginfo@wmk.govt.nz</a> or submit via the Sharefile portal. Guidance on the process can be found at <a href="https://www.waimakariri.govt.nz/council/documents-bylaws-plans/fact-sheets">https://www.waimakariri.govt.nz/council/documents-bylaws-plans/fact-sheets</a> Application form can be downloaded from <a href="https://www.waimakariri.govt.nz/consents-and-licences/forms-a-to-z/">https://www.waimakariri.govt.nz/consents-and-licences/forms-a-to-z/</a>.</b>

**-Note: Minor variation previously requested to include stair details, noted on plans to be installed in the future & are now in place.**

**To include handrail to stairs details and required barrier to attic floor details.**

**Attic area now constructed as 2 separate rooms/spaces, include floor plan & smoke alarm details/locations**

**Skylight added to attic not shown on consented plans elevation 3 sheet 7 (elevation is also missing the garage window shown on the brace plan grid line E )  
Update elevations for consent records to show the garage window removed on grid line D**

**- Change in wood burner from consented Xtreme Rad to Hurunui Ash - Once granted a solid dual heater inspection will be required.**

**Note on re inspection more non compliance may be found**

---

## Documentation

As-Built Truss Design	Accepted
(Struct.) Engineer's site notes/reports (Specify) <b>-Structural connections and member sizes.</b>	Required
(Struct.) Engineer's ground bearing notes/report <b>And include scissor truss connections and member sizes.</b>	Required
(Clad.) H1 - Doors & Windows - Manufacturer's Statement of Thermal Performance	Required
(W.A.T.) PS3 - Waterproofing membrane (Interior Wet Area Tanking)	Required
(Serv.) Electrical certificate	Required
(Serv.) PS3 Plumbing (Pipework Pressure Test Certificate)	Required
(Serv.) Gas Certificate	Required
PS4 (Specify) (Engineer's supervision) <b>-Structural connections and member sizes PS4.</b>	Required

---

## Licensed Building Practitioners

	Status
Carpentry 1	Required
Foundations 1	Required
Cladding Installer 1	Required
Roofing 1	Required



## SITE INSPECTION NOTICE

---

Consent No: **BC230501.03**  
Applicant: **Walsh Carol Sheila**  
Site Address:  
Work Type: **MINOR VARIATION Change of Verandah foundation to post footings 71 DAVIS ROAD  
CUST LOT 1 DP 570321**  
Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**  
Email To: **barry@dimensionshopfitters.co.nz**

---

Enquiries about this inspection may be directed to the inspector listed on this notice, or via the contact details listed in the header.

**Please email any requested documentation and records of work to buildinginfo@wmk.govt.nz using BC230501.03 in the subject line.**

---

Inspection Type: **Post Holes**  
Inspection Outcome: **Pass**  
Inspected By: **Jake Burns - 027 223 5428**  
Inspection Date: **17 December 2024**

### Passed Items

ADDITIONAL ITEMS (as applicable)  
Additional PASSED Items

## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
 Applicant: **Walsh Carol Sheila**  
 Site Address: **71 Davis Road CUST**  
 Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
 Location within site:  
 Level Unit Number:  
 Building Category: **R02**

Inspection Type: **Free Standing Fire / Boiler - Completion**  
 Inspection Outcome: **Pass**  
 Inspected By: **Jake Burns**  
 Inspection Date: **21 February 2025 11:13 AM**  
 Duration: **45 minutes**

Inspection Element	Status
General Items	Pass
Building, Multi-unit, Lot or Tenancy <b>Lot 1</b>	Pass
Health and Safety requirements <b>Standard WDC uniform. Hi-Vis shirt/jacket worn where required. Standard safety footwear worn on site.</b>	N/A
Approved Building Consent on site <b>Approved building consent documentation including plans and specifications are onsite and reviewed at time of inspection.</b>	Pass
Previous site instructions	N/A
Heating Unit Inspection Items	Pass
Heating unit make and model <b>Masport Hurunui.</b>	Pass
Hearth <b>Ceramic tile meeting clearances</b>	Pass
Seismic restraints <b>8mm coach screws</b>	Pass
Unit clearances <b>Unit clearances to combustibles achieved</b>	Pass
Flue shield(s) <b>900mm double flue shield</b>	Pass
Flue type, spacers and fixings <b>Masport as per PS3</b>	Pass
Ceiling or wall penetration <b>Ceiling or wall penetrations as per flue system specifications</b>	Pass
Number of flues and clearances to combustibles <b>3x</b>	Pass
Flue secured to firebox <b>Flue fixed and sealed to box with rivets</b>	Pass
Ceiling plate <b>Correct ceiling plate ventilation and spacers</b>	Pass
Roof penetration <b>Through un accessible chimney. Chimney cap to top</b>	Pass
Flue height and support	Pass
Wetback installation	N/A
Wetback header/top up tank	N/A

Smoke alarms	Pass
<b>Smoke alarms have been installed to comply with the objectives and performance requirements F7.</b>	
Installation check sheet provided	Pass
Room/heating unit ventilation	N/A
BA2004 s.28 : Warnings and Bans - Methods and Products	N/A
Amendment Required	N/A
Boiler/Central Heating Inspection Items	N/A
ADDITIONAL ITEMS (as applicable)	N/A



Taken at 11:07 AM on Friday 21/02/2025



Taken at 11:08 AM on Friday 21/02/2025





Taken at 11:08 AM on Friday 21/02/2025



Taken at 11:08 AM on Friday 21/02/2025

## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

Inspection Type: **Final**  
Inspection Outcome: **Pass**  
Inspected By: **Jake Burns**  
Inspection Date: **21 February 2025 11:04 AM**  
Duration: **15 minutes**

Inspection Element	Status
Inspection Items	Pass
Gully traps	Pass
<b>Gully to be raised 75mm above unpaved areas.</b>	
<b>Now complete</b>	
Drain ventilation	Pass
<b>Open branch vent required</b>	
<b>Branch vent now in place</b>	
Drainage venting to sewer and WC fixture	Pass
Vermin proofing	Pass
<b>100mm pipe southern elevation to be capped</b>	
<b>Now capped</b>	
Garage door reveals and cladding junctions	Pass
<b>Clearance from garage jamb to concrete required.</b>	
<b>Sealed with clearance achieved</b>	
Hand rail dimension and height	Pass
<b>Hand rail required to stairs to attic</b>	
<b>In place to secondary stair</b>	
Hot water cylinder temperature	Pass
<b>Water temp 50°</b>	
Fixtures sealed to walls	Pass
<b>Toe space in kitchen to be sealed</b>	
<b>Now sealed</b>	
Amendment Required	Pass
<b>-MINOR VARIATION REQUIRED (Via Office) - Download and complete an "Application for a Minor Variation" and submit the form along with relevant supporting information to the WDC Building Unit for additional stairs having been added to '1st floor room' area and removal of garage window as consideration as a minor variation (revised elevations to be provided due to previous changes to exterior). Forward information to <a href="mailto:buildinginfo@wmk.govt.nz">buildinginfo@wmk.govt.nz</a> or submit via the Sharefile portal.</b>	
<b>Guidance on the process can be found at <a href="https://www.waimakariri.govt.nz/council/documents-bylaws-plans/fact-sheets">https://www.waimakariri.govt.nz/council/documents-bylaws-plans/fact-sheets</a></b>	
<b>Application form can be downloaded from <a href="https://www.waimakariri.govt.nz/consents-and-licences/forms-a-to-z/">https://www.waimakariri.govt.nz/consents-and-licences/forms-a-to-z/</a>.</b>	

**-Note: Minor variation previously requested to include stair details, noted on plans to be installed in the future & are now in place.**

**To include handrail to stairs details and required barrier to attic floor details.**

**Attic area now constructed as 2 separate rooms/spaces, include floor plan & smoke alarm details/locations**

**Skylight added to attic not shown on consented plans elevation 3 sheet 7 (elevation is also missing the garage window shown on the brace plan grid line E )**

**Update elevations for consent records to show the garage window removed on grid line D**

**- Change in wood burner from consented Xtreme Rad to Hurunui Ash - Once granted a solid dual heater inspection will be required.**

**Amendment now issued**



**Branch vent in place, with dektite**  
Taken at 10:49 AM on Friday 21/02/2025



Taken at 10:49 AM on Friday 21/02/2025





Taken at 10:50 AM on Friday 21/02/2025



Taken at 10:50 AM on Friday 21/02/2025



Taken at 10:55 AM on Friday 21/02/2025



Taken at 10:55 AM on Friday 21/02/2025



Taken at 10:59 AM on Friday 21/02/2025



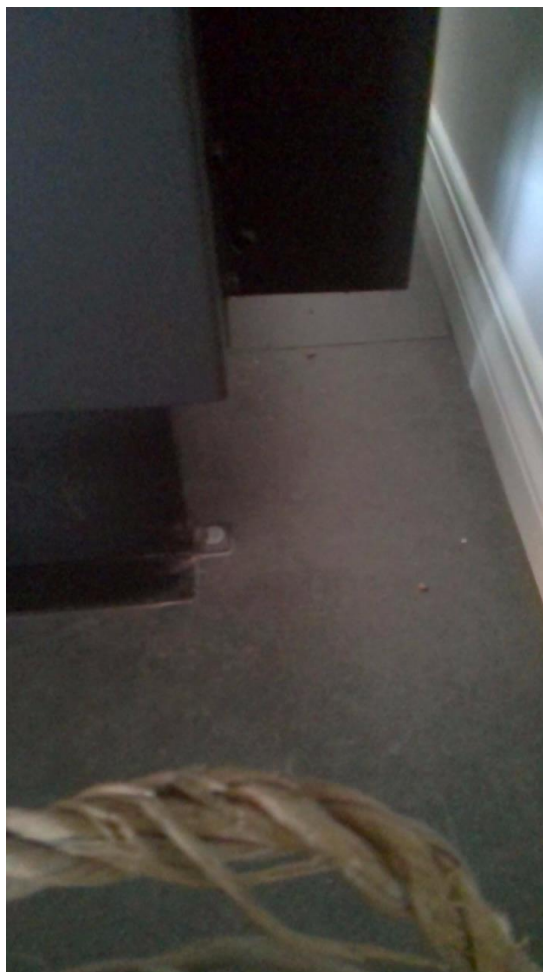
**150mm rear wall clearance**

Taken at 11:02 AM on Friday 21/02/2025





**Side clearance to both sides**  
Taken at 11:03 AM on Friday 21/02/2025



Taken at 11:03 AM on Friday 21/02/2025





400mm front hearth clearance  
Taken at 11:04 AM on Friday 21/02/2025

**BUILDING UNIT**

**Producer Statement Installation for Solid-Liquid Fuel Heating Appliance**

For installer to complete:  
BC No: 230501

Issued by installer: Dave Matheson

For owner: Benny Walsh

Site address: 71 Davis Road, Cust

In respect of the installation of the solid or liquid fuel heating appliance prior to first use.

**Heating appliance installation**

☒ Free-standing ☐ Inbuilt ☐ Wetback ☐ Liquid fuel heater

Make of heating appliance: Nasport Make of flue: Nasport

Model of heating appliance: HM1000H

Tick as appropriate

☒ 1. Is the heating appliance and flue as per the building consent.

☒ 2. Chimney cleared

☒ 3. Fireplace surround/chimney face junction sealed with a heat resistant material

☒ 4. The flue pipe is constructed of stainless steel

☒ 5. Seismic restraint fitted

☒ 6. Flue sections are secured together with stainless steel rivets

☒ 7. The flue is secured to the heating appliance

☒ 8. The chimney void has been vented at the top

☒ 9. Flue and appliance clearances have been achieved in terms of the manufacturers instructions and AS/NZS 2918:2001

☒ 10. Flue joints sealed in accordance with manufacturers instructions

☒ 11. The flue height meets the minimum specified in the manufacturer's instructions and ECan rules.

☒ 12. Smoke detectors (with built-in facility) as detailed on the building consent documents are installed.

☒ 13. Liquid fuel only

The appliance has been installed and commissioned in accordance with the manufacturer's installation and operating instructions, a copy of commissioning certificate is attached

☒ 14. The liquid fuel storage tank and feed system has been installed in accordance with AS1691 and the consented documents.

☒ 15. Fire safety valve connected and working correctly

Continued over page

Taken at 11:04 AM on Friday 21/02/2025

## SITE INSPECTION NOTICE

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**  
Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**  
Email To: **barry@dimensionshopfitters.co.nz**

Enquiries about this inspection may be directed to the inspector listed on this notice, or via the contact details listed in the header.

**Please email any requested documentation and records of work to buildinginfo@wmk.govt.nz using BC230501 in the subject line.**

Inspection Type: **Free Standing Fire / Boiler - Completion**  
Inspection Outcome: **Pass**  
Inspected By: **Jake Burns - 027 223 5428**  
Inspection Date: **21 February 2025**

### Passed Items

#### General Items

Building, Multi-unit, Lot or Tenancy  
Approved Building Consent on site

#### Lot 1

**Approved building consent documentation including plans and specifications are onsite and reviewed at time of inspection.**

#### Heating Unit Inspection Items

Heating unit make and model  
Hearth  
Seismic restraints  
Unit clearances  
Flue shield(s)  
Flue type, spacers and fixings  
Ceiling or wall penetration

#### Masport Hurunui.

**Ceramic tile meeting clearances  
8mm coach screws**

**Unit clearances to combustibles achieved  
900mm double flue shield**

#### Masport as per PS3

**Ceiling or wall penetrations as per flue system specifications**

**3x**

**Flue fixed and sealed to box with rivets**

**Correct ceiling plate ventilation and spacers**

**Through un accessible chimney. Chimney cap to top**

Number of flues and clearances to combustibles  
Flue secured to firebox  
Ceiling plate  
Roof penetration  
Flue height and support  
Smoke alarms

**Smoke alarms have been installed to comply with the objectives and performance requirements F7.**

Installation check sheet provided

Inspection Type: **Final**  
Inspection Outcome: **Pass**

Inspected By: **Jake Burns - 027 223 5428**  
Inspection Date: **21 February 2025**

## **Passed Items**

### **Inspection Items**

Gully traps

**Gully to be raised 75mm above unpaved areas.**

Drain ventilation

**Now complete**

**Open branch vent required**

**Branch vent now in place**

Drainage venting to sewer and WC fixture

Vermin proofing

**100mm pipe southern elevation to be capped**

**Now capped**

**Clearance from garage jamb to concrete required.**

Garage door reveals and cladding junctions

**Sealed with clearance achieved**

Hand rail dimension and height

**Hand rail required to stairs to attic**

**In place to secondary stair**

Hot water cylinder temperature

**Water temp 50°**

Fixtures sealed to walls

**Toe space in kitchen to be sealed**

**Now sealed**

Amendment Required

**-MINOR VARIATION REQUIRED (Via Office) -  
Download and complete an "Application for a Minor Variation" and submit the form along with relevant supporting information to the WDC Building Unit for additional stairs having been added to '1st floor room' area and removal of garage window as consideration as a minor variation (revised elevations to be provided due to previous changes to exterior). Forward information to [buildinginfo@wmk.govt.nz](mailto:buildinginfo@wmk.govt.nz) or submit via the Sharefile portal.  
Guidance on the process can be found at <https://www.waimakariri.govt.nz/council/documents-bylaws-plans/fact-sheets>  
Application form can be downloaded from <https://www.waimakariri.govt.nz/consents-and-licences/forms-a-to-z/>.**

**-Note: Minor variation previously requested to include stair details, noted on plans to be installed in the future & are now in place.**

**To include handrail to stairs details and required barrier to attic floor details.**

**Attic area now constructed as 2 separate rooms/spaces, include floor plan & smoke alarm details/locations**

**Skylight added to attic not shown on consented plans elevation 3 sheet 7 (elevation is also missing the garage window shown on the brace plan grid line E )**

**Update elevations for consent records to show the garage window removed on grid line D**

**- Change in wood burner from consented Xtreme Rad to Hurunui Ash - Once granted a solid dual heater inspection will be required.**

**Amendment now issued**

Documentation	Status
As-Built Truss Design	Accepted
(Struct.) Engineer's site notes/reports (Specify) <b>-Structural connections and member sizes.</b>	Required
(Struct.) Engineer's ground bearing notes/report <b>And include scissor truss connections and member sizes.</b>	Required
(Clad.) H1 - Doors & Windows - Manufacturer's Statement of Thermal Performance	Required
(W.A.T.) PS3 - Waterproofing membrane (Interior Wet Area Tanking)	Required
(Serv.) Electrical certificate	Required
(Serv.) PS3 Plumbing (Pipework Pressure Test Certificate)	Required
(Serv.) Gas Certificate	Required
PS4 (Specify) (Engineer's supervision) <b>-Structural connections and member sizes PS4.</b>	Required

---

Licensed Building Practitioners	Status
Carpentry 1	Required
Foundations 1	Required
Cladding Installer 1	Required
Roofing 1	Required



## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

Inspection Type: **Foundation Pre-Pour**  
Inspection Outcome: **Pass**  
Inspected By: **Andrew Kendall**  
Inspection Date: **27 February 2025 5:25 PM**  
Duration: **0 minutes**

Inspection Element	Status
General Items	Pass
Building, Multi-unit, Lot or Tenancy	Pass
<b>-Note: Inspection completed via a desktop review during the Code Compliance Certificate auditing process and not actual on-site visit.</b>	
Health and Safety requirements	N/A
Approved Building Consent on site	Pass
Previous site instructions	N/A
ADDITIONAL ITEMS (as applicable)	Pass
Additional PASSED Items	Pass
<b>-Separate foundation inspection to verandah area no longer applicable due to verandah area having posts with footings, with post holes having been previously inspected and passed, dated: 17/02/2024.</b>	
Additional PASSED with Site Instructions (Directives to Complete)	N/A
Additional PASS NC (Site Instructions) Requiring Review at Next Inspection	N/A
Additional FAILED Items	N/A
HARDCOPY (Refer Hardcopy inspection Sheet)	N/A

### Documentation

Application form for CCC (Form 6) Required

## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

Inspection Type: **Pre-Pour Slab**  
Inspection Outcome: **Pass**  
Inspected By: **Andrew Kendall**  
Inspection Date: **27 February 2025 5:31 PM**  
Duration: **15 minutes**

Inspection Element	Status
General Items	Pass
Building, Multi-unit, Lot or Tenancy	Pass
<b>-Note: Inspection completed via a desktop review during the Code Compliance Certificate auditing process and not actual on-site visit.</b>	
Health and Safety requirements	N/A
Approved Building Consent on site	Pass
Previous site instructions	N/A
ADDITIONAL ITEMS (as applicable)	Pass
Additional PASSED Items	Pass
<b>-WDC scheduled pre-pour slab inspection to outside verandah areas appear to have been missed, although accepted completed work with licensed building practitioners record of works since slab is non structural.</b>	
Additional PASSED with Site Instructions (Directives to Complete)	N/A
Additional PASS NC (Site Instructions) Requiring Review at Next Inspection	N/A
Additional FAILED Items	N/A
HARDCOPY (Refer Hardcopy inspection Sheet)	N/A

### Documentation

Application form for CCC (Form 6) Required

## SITE INSPECTION AUDIT REPORT

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**

Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**

Inspection Type: **Pre-Pour Slab - Garage**  
Inspection Outcome: **Pass**  
Inspected By: **Andrew Kendall**  
Inspection Date: **27 February 2025 5:34 PM**  
Duration: **15 minutes**

Inspection Element	Status
General Items	Pass
Building, Multi-unit, Lot or Tenancy	Pass
<b>-Note: Inspection completed via a desktop review during the Code Compliance Certificate auditing process and not actual on-site visit.</b>	
Health and Safety requirements	N/A
Approved Building Consent on site	Pass
Previous site instructions	N/A
ADDITIONAL ITEMS (as applicable)	Pass
Additional PASSED Items	Pass
<b>-Separate garage floor slab pre-pour inspection is no longer applicable due to dwelling living and garage area having been constructed and poured in one, as per inspection dated: 27/11/2023.</b>	
Additional PASSED with Site Instructions (Directives to Complete)	N/A
Additional PASS NC (Site Instructions) Requiring Review at Next Inspection	N/A
Additional FAILED Items	N/A
HARDCOPY (Refer Hardcopy inspection Sheet)	N/A

### Documentation

Application form for CCC (Form 6) Required

## SITE INSPECTION NOTICE

Consent No: **BC230501**  
Applicant: **Walsh Carol Sheila**  
Site Address: **71 Davis Road CUST**  
Work Type: **DWELLING WITH LOG BURNER AND ATTACHED GARAGE WITH WASTE WATER SYSTEM  
71 DAVIS ROAD CUST LOT 1 DP 570321**  
Building Name:  
Location within site:  
Level Unit Number:  
Building Category: **R02**  
Email To: **barry@dimensionshopfitters.co.nz,mark@masterfoundations.co.nz,shane@surebuilding.co.nz**

Enquiries about this inspection may be directed to the inspector listed on this notice, or via the contact details listed in the header.

**Please email any requested documentation and records of work to buildinginfo@wmk.govt.nz using BC230501 in the subject line.**

Inspection Type: **Foundation Pre-Pour**  
Inspection Outcome: **Pass**  
Inspected By: **Andrew Kendall - 027 453 8144**  
Inspection Date: **27 February 2025**

### Passed Items

#### General Items

Building, Multi-unit, Lot or Tenancy

**-Note: Inspection completed via a desktop review during the Code Compliance Certificate auditing process and not actual on-site visit.**

Approved Building Consent on site

ADDITIONAL ITEMS (as applicable)

Additional PASSED Items

**-Separate foundation inspection to verandah area no longer applicable due to verandah area having posts with footings, with post holes having been previously inspected and passed, dated: 17/02/2024.**

Inspection Type: **Pre-Pour Slab**  
Inspection Outcome: **Pass**  
Inspected By: **Andrew Kendall - 027 453 8144**  
Inspection Date: **27 February 2025**

### Passed Items

#### General Items

Building, Multi-unit, Lot or Tenancy

**-Note: Inspection completed via a desktop review during the Code Compliance Certificate auditing process and not actual on-site visit.**

Approved Building Consent on site

ADDITIONAL ITEMS (as applicable)

Additional PASSED Items

**-WDC scheduled pre-pour slab inspection to outside verandah areas appear to have been missed, although accepted completed work with licensed building**



Inspection Type: **Pre-Pour Slab - Garage**  
Inspection Outcome: **Pass**  
Inspected By: **Andrew Kendall - 027 453 8144**  
Inspection Date: **27 February 2025**

## Passed Items

### General Items

Building, Multi-unit, Lot or Tenancy

**-Note: Inspection completed via a desktop review during the Code Compliance Certificate auditing process and not actual on-site visit.**

Approved Building Consent on site

ADDITIONAL ITEMS (as applicable)

Additional PASSED Items

**-Separate garage floor slab pre-pour inspection is no longer applicable due to dwelling living and garage area having been constructed and poured in one, as per inspection dated: 27/11/2023.**

## Documentation

## Status

As-Built Truss Design	Accepted
Application form for CCC (Form 6)	Required
(Struct.) Engineer's site notes/reports (Specify) <b>-Structural connections and member sizes.</b>	Required
(Struct.) Engineer's ground bearing notes/report <b>And include scissor truss connections and member sizes.</b>	Required
(Clad.) H1 - Doors & Windows - Manufacturer's Statement of Thermal Performance	Required
(W.A.T.) PS3 - Waterproofing membrane (Interior Wet Area Tanking)	Required
(Serv.) Electrical certificate	Required
(Serv.) PS3 Plumbing (Pipework Pressure Test Certificate)	Required
(Serv.) Gas Certificate	Required
PS4 (Specify) (Engineer's supervision) <b>-Structural connections and member sizes PS4.</b>	Required

## Licensed Building Practitioners

## Status

Carpentry 1	Required
Foundations 1	Required
Cladding Installer 1	Required
Roofing 1	Required